



CITY OF PATASKALA BOARD OF ZONING APPEALS

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

STAFF REPORT

January 4, 2023

Transportation Corridor Overlay District TCOD-22-003

Applicant:	APG Architects, LLC.
Owner:	Pataskala Public Library
Location:	101 S. Vine Street, Pataskala, OH 43062
Acreage:	+/- 5.79 total
Zoning:	R-7 – Village Single-Family Residential
Request:	Requesting approval of a Transportation Corridor Overlay District Application pursuant to Section 1259.07 of the Pataskala Code for the construction of an Addition to the Pataskala Public Library, with associated site improvements.

Description of the Request:

The applicant is seeking approval of a Transportation Corridor Overlay District Application pursuant to Section 1259.07 of the Pataskala Code in order to allow for construction of an addition to the Pataskala Public Library, with associated site improvements.

Staff Summary:

The Pataskala Public Library currently owns three (3) separate parcels, totaling 5.79-acres, located on the west side of Vine Street and east of the Tyler Avenue dead end.

- Parcel 1 – PID: 064-307698-02.001 – 101 S. Vine Street
 - Zoning: R-7 – Village Single-Family Residential
 - Acreage: 3.12
 - Current Use/Conditions: Existing location of Pataskala Public Library. Frontage on Vine Street to east.
 - Proposed Use: Addition to Library structure, additional parking.
- Parcel 2 – PID: 064-311874-00.000
 - Zoning: R-7 – Village Single-Family Residential
 - Acreage: 0.67
 - Current Use/Conditions: None. Frontage on both Vine Street to east and Tyler Avenue to West.
 - Proposed Use: Access road to parking.
- Parcel 3 – PID: 064-307698-02.000
 - Zoning: R-7 – Village Single-Family Residential
 - Acreage: 1.99
 - Current Use/Conditions: None. Frontage on Tyler Avenue to West.
 - Proposed Use: Parcel to be left undeveloped.

The Applicant is requesting approval of a TCOD Application in order to expand the existing Pataskala Public Library and construct associated site improvements. A general summary of the proposal begins on the next page.

Structures

- Existing Public Library: 8,768 square feet.
- Proposed Addition: 6,493 square feet.
 - Total Post-Improvement: 15,261 square feet.
- Maximum Height: 27'-10 5/8"

Access

- Remove existing two-way access onto Vine Street.
- Construct ~290-foot access road to the south of the Library from Vine Street to the new parking area.

Parking

- Remove 15 parking spaces and asphalt area directly north of existing library building.
- ~23 existing parking spaces further north of parking area to be removed are to remain.
- Additional parking area with 41 spaces, three (3) of which are to be ADA accessible, are to be added to the north and west of the Library.
- A total of 64 surface parking spaces will be provided.
- Alternate Drive-Through Design for book drop-offs depending on budgetary restrictions.

Landscaping

- Front, Vine St: Retain existing trees in front of Library. Add four (4) new trees, shrub and planting landscaping around foundation, additional landscaping around existing ground sign.
- Side, North: Retain existing trees north of existing parking, add 15 additional north of existing parking. Additional parking to west to be screened by two (2) foot high shrubs.
- Rear, West: continuous two (2) foot high shrubs with one (1) tree per 30 feet bordering additional parking area.
- Front/Side, South: Add five (5) trees along access drive, continuous shrub line along building foundation.
- Interior Landscaping: 20 square feet per parking space for 1,280-square feet of interior landscaped area. Seven (7) trees provided.

Signage

- Retain existing ground sign.
- Parking lot directional sign (unknown size, height, location).

Staff Review: *The following summary does not constitute recommendations but merely conclusions and suggestions from the Staff Review, the full text of which follows the summary.*

Planning and Zoning Staff:

Staff has drafted a list of comments regarding the Application, which is attached to this Staff Report. Some of these comments are minor revisions or requiring additional information to be shown on the plans. However, the provided landscaping differs from what is required by the Pataskala Code. As this is a Transportation Corridor Overlay District Application, pursuant to Section 1259.05(G)(2); the Planning and Zoning Commission may approve the perimeter landscaping as proposed, or with modifications.

Landscaping Required:

- Front – L2 (Vine Street AND Tyler Ave Extension – only if to be dedicated to public use)
 - L2: continuous three (3) foot high shrub screen with one (1) tree per 30 lineal feet. A three (3) foot high wall or mount may be substituted for shrubs.
- Side – when abutting residential (L3 or L4), if not abutting residential none required.
 - L3: continuous six (6) foot shrub (arborvitae) screen, with one (1) tree per 30 lineal feet. A six (6) foot high fence or wall, 100% opaque, may be substituted for the shrubs.

- L4: Six (6) foot high, 100% opaque fence or wall, with one (1) tree per 30 lineal feet, and four (4) high shrubs every 30 feet.
- Rear – when abutting residential (L3 or L4)
 - See above.

Landscaping Proposed:

- Front (Vine St): Retain existing trees, add four (4) additional trees, push shrub screen back to line building foundation. Additional landscaping around existing ground sign.
- Front (Tyler Ave Extension – if proposed to be public): Partial L2 along southern edge of additional parking area. Five (5) additional trees along the south side of existing building, with shrub screen pushed back to line building foundation.
 - Applicant Justification: Proximity of existing building to proposed right-of-way required use of hybrid landscaping.
- Side (north): Retain existing trees north of existing north parking area and add 11 additional trees in this space, outside of utility easement. Add continuous shrub line north of additional parking area between adjacent residential uses.
 - Applicant Justification: Due to public utility easement along northern boundary.
- Rear (west): L2 provided along western edge of additional parking area.
 - Applicant Justification: Utilize large setback from adjacent residential units to the west as a natural buffer with L2 to enhance.

The Applicant has provided an alternate drive-through book drop-off design depending on budget restrictions. Both designs (proposed and alternate) will meet Pataskala Code, Staff will just need a decision on which proposal will be included when the Construction Plans are submitted.

In initial discussion with the City, it was proposed to dedicate the access road and Parcel 2 to the City in order to facilitate the future extension and connection of Tyler Avenue to Vine Street. Staff did not see it mentioned in the plans and would like clarification on whether this is still proposed. If so, please indicate so on the plans with a note. If it is, the front yard setback of the existing building would be less than required, however, the Commission may approve this as proposed. R-7 would require a 25-foot setback from the street right-of-way, as proposed it is only approximately 14'-10". Should the right-of-way not be dedicated, it would be a side yard, and only have to be a 7' setback. However, Staff would prefer to have the right-of-way dedicated in order to make that future connection to the dead-end Tyler Avenue.

Should this Application be approved, the next step for the Applicant would be to submit a full site engineering package (Construction Plans) including Stormwater Calculations which is to be approved administratively, followed by the New Commercial Construction Permit (administrative), after which they may begin construction.

Pataskala Utilities (Full comments attached)

Screening along the northern property line that lies in the Utility Easement should be kept to a minimum. Items placed within said easement will be removed without replacements should the Utility Department need to access infrastructure within the easement. Less screening inside this easement will allow quicker response time to water and sewer emergencies.

Other Departments and Agencies

No other comments were received.

Surrounding Area:

Direction	Zoning	Land Use
North	R-15 – Medium-High Density Residential	Singe-Family
East	R-7 – Village Single-Family Residential	Mason’s Lodge Single-Family
South	R-7 – Village Single-Family Residential	Single-Family
West	R-7 – Village Single-Family Residential	Single-Family

Department and Agency Review

- Zoning Inspector – No comments.
- Public Service – No comments.
- City Engineer – No comments.
- Pataskala Utilities – See attached.
- Police Department – No comments.
- West Licking Joint Fire District – No comments.
- Southwest Licking School District – No comments.

Conditions:

Should the Board choose to approve the applicant’s request, the following conditions may be considered:

1. The Applicant shall address all comments from Planning and Zoning Staff and the Public Utilities Director.
2. The Applicant shall submit the Construction Plans Application within one (1) year of the date of approval.

Resolution:

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

“I move to approve a Transportation Corridor Overlay District Application TCOD-22-003 pursuant to Section 1259.07 of the Pataskala Code (“with the following conditions” if conditions are to be placed on the approval).”



CITY OF PATASKALA PLANNING & ZONING DEPARTMENT

621 West Broad Street, Suite 2A
Pataskala, Ohio 43062

TCOD-22-003 Staff Review

January 4, 2023

General Plan Comments

- With the TCOD Application, it is possible to have certain aspects of the proposal approved as proposed. Essentially granting a deviation from the Pataskala Code, subject to approval of the PZC. Those items identified below which do not meet Pataskala Code but are eligible to be approved as proposed are indicated with “*”.
- Add dimensions for:
 - Distance between parking area and north side property line abutting residential.
 - Distance between north side of proposed addition and existing parking area to east.
 - Distance between proposed sidewalk along access drive and property line directly adjacent.
 - Distance between west edge of new parking area and rear (west) property line (we know it will exceed minimum just need the dimension).
- Include note on front page that Access Drive is to be dedicated to City as R/W if this is still in the plans. I didn't see it mentioned anywhere.
- Parking Sign: Need more information. Height, size, location. Location appears to be at corner of Vine and Tyler but number doesn't match with number provided for sign.
- Provide drive through width for alternate. Assuming one-way, will need signage.

Chapter 1237 – R-7 Zoning District

- 1249.05 – General Requirements of the R-7 District
 - *1249.05(C)(1): Front yard setback is 25-feet.
 - ONLY comes into play if Tyler Avenue Extension is to be dedicated to public.
 - Existing is only 14'-10". PZC may approve as proposed.
 - 1249.05(D): The maximum percentage of the total lot area which may be occupied by both principal and accessory structures is 50%
 - Provide a Site Statistics table showing the SF of lot, existing building, proposed addition, parking surface area, walkways, etc.
 - The lot percentage is only based on the total area of the lot (only the lot on which the building is located, not the old right-of-way strip where the access road will go) and the post-improvement structure. We just want to other measurements for our information.

Chapter 1259 – Transportation Corridor Overlay District

- 1259.05 – Design Standards
 - 1259.05(D): Storage areas and trash storage receptacles shall be totally enclosed by structures or opaque fences on four sides and be located behind buildings.
 - Change note on L-1.1 to say “trash/refuse containers to be stored inside”

Chapter 1283 – Landscaping and Screening

- 1283.07 – Application of Landscaping Standards*
 - 1283.07(B) for uses within the R-7 Zoning District:
 - Front Yard: L2 (any frontage on public R/W)

- Vine Street, East: Proposed – retain existing trees, add four (4), shrubs around foundation.
- Tyler Ave Extension (if to be dedicated to public use): Partial L2 along south side of additional parking area, five (5) trees along south side of existing building with shrubs around foundation.
- Side Yard: L3 or L4 if abutting a residential use (North, South – If not being dedicated to public use)
 - North: Proposed – retain existing trees north of existing -parking, add 11 in this area. To north of additional parking area, add continuous shrub line of two (2) foot high shrubs.
 - Note says to be maintained at four (4) feet in height. Add this note to all notes (front, side, rear yards) to cover the minimum three (3) foot height requirement.
 - South: See above.
- Rear Yard: L3 or L4 if abutting a residential use (West)
 - As proposed, utilize large distance between adjacent residential uses to West as buffer, with L2 type landscaping along western edge of additional parking area.

Chapter 1291 – Parking and Loading

- 1291.05 – Location of Parking and Loading Spaces
 - *1291.05(A)(4): a 40-foot vegetated zone (landscaped to the L2 standard identified in Chapter 1283) shall be maintained between the street right-of-way-line.
 - ONLY if Tyler Avenue extension is to dedicated to public
 - Distance is less than 40', indicate actual distance. PZC may approve as proposed.
- 1291.07 – Parking Spaces for People with Disabilities
 - 1291.07(B): Minimum Dimensions: 11' x 19' with a 5' access aisle on one side.
 - Dimensions not shown.
 - 1291.07(C): All spaces shall be designated in conformance with Ohio Manual of Traffic Control Devices.
 - Add Note.

From: [Chris Sharrock](#)
To: [Jack Kuntzman](#); [Felix Dellibovi](#); [Jim Roberts](#); [Scott Haines](#); [Bruce Brooks](#); [Doug White](#); [kperkins@laca.org](#); [Alan Haines](#); [Antonio Anzalone](#)
Cc: [Scott Fulton](#); [Lisa Paxton](#)
Subject: RE: Pataskala PZC Review Memo for 01-04-2023
Date: Thursday, December 22, 2022 1:04:31 PM
Attachments: [image002.png](#)
[image003.png](#)

Jack,

My only comment is that the screening along the northern property line that lies in the Utility Easement should be kept to a minimum. Items placed in the easement will be removed without replacement should the Utility Department need to access its infrastructure in said easement. Minimal screening in the easement allows for quicker response time to water and sewer emergencies.

Thank you,

Chris Sharrock
City of Pataskala
Utility Director
430 South Main Street
csharrock@ci.pataskala.oh.us
Office: (740) 927-4134
Cell: (614) 554-2799



“The soldier is the Army. No army is better than its soldiers.” – Gen George Patton

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Wednesday, December 14, 2022 2:09 PM
To: Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Chris Sharrock <csharrock@ci.pataskala.oh.us>; Jim Roberts <jroberts@verdantas.com>; Scott Haines <shaines@hullinc.com>; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; kperkins@laca.org; Alan Haines <ahaines@ci.pataskala.oh.us>; Antonio Anzalone <aanzalone@ci.pataskala.oh.us>
Cc: Scott Fulton <sfulton@ci.pataskala.oh.us>; Lisa Paxton <lpaxton@ci.pataskala.oh.us>
Subject: Pataskala PZC Review Memo for 01-04-2023

Good Afternoon Everyone,



CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

TRANSPORTATION CORRIDOR OVERLAY DISTRICT APPLICATION

(Pataskala Codified Ordinances Chapter 1259)

Property Information		
Address: 101 S Vine St., Pataskala, OH 43062		
Parcel Number: There are several parcels (see notes below)		
Zoning: IR - 7	Acres: Total Site=5.79: Project Area=3.801	
Water Supply:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site
Wastewater Treatment:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site

Staff Use
Application Number: TCUD-22-003
Fee: 300/2500
Filing Date: 11-4-22
Hearing Date: 12-9-22
Receipt Number: 000918/21919

Applicant Information		
Name: APG Architects LLC		
Address: 3808 James Court		
City: Zanesville	State: Ohio	Zip: 43701
Phone: 740-454-3211	Email: bseyerle@apg-architects.com	

Documents
<input checked="" type="checkbox"/> Application
<input checked="" type="checkbox"/> Fee
<input checked="" type="checkbox"/> Site Plan
<input checked="" type="checkbox"/> Development Plan
<input type="checkbox"/> Deed
<input checked="" type="checkbox"/> Area Map

Property Owner Information		
Name: Pataskala Public Library		
Address: 101 S Vine St.		
City: Pataskala	State: Ohio	Zip: 43062
Phone: 740-927-9986	Email: jrothweiler@pataskalalibrary.org	

Transportation Corridor Overlay District Information
Describe the Project: Please refer to attached Narrative

Documents to Submit

Transportation Corridor Overlay District Application: Submit one (1) copy of the Transportation Corridor Overlay District application.

Site Plan: Submit one (1) copy (unless otherwise directed by staff) of a site plan to scale including the following:

- The boundaries and dimensions of the lot.
- The size and location of existing and proposed structures.
- The proposed use of all parts of the lot and structures.
- All reserve parcels and anticipated development phases.
- The use of land and location of structures on adjacent property within 100 feet of the property line.
- Existing trees that are six (6) inches or greater in diameter measured five (5) feet above the ground located within the setback.

Development Plan: Submit one (1) copy (unless staff requests additional) of a development plan including the following:

- **Structures:** All proposed structures shall be located, showing square footage for each structure, expected entrance(s), service, and pedestrian areas for each phase of the development.
- **Traffic concept:** All points of ingress and egress onto public roadways and the overall traffic distribution scheme shall be shown, indicating traffic flow patterns and traffic control points. The requirements for a traffic study and the need for "Traffic Safety Measures" shall be at the discretion of the City Engineer and approved, approved with modifications or disapproved by the Planning and Zoning Commission.
- **Parking layout:** A parking layout must be shown to include access points and expected movement for all transportation modes through and between separate parking lot areas and expected pedestrian access routes from parking areas and bus stops to structures.
- **Landscaping:** All proposed site landscaping, screening, and buffering shall be indicated as to type and size of material to be used, proposed locations, berming and other features in accordance with Section 1259.05(G).
- Proposed location, dimensions, and design of signs.
- Elevations of proposed structures or expansion of existing structures including dimensions and materials.

Deed: Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at www.lcounty.com/rec.

Area Map: Submit one (1) copy of an area map from the Licking County Engineer's office showing the property and surrounding area. Area maps can be obtained at www.lcounty.com/taxparcelviewer/default.

Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this Transportation Corridor Overlay District request.

Applicant (required):



Date:

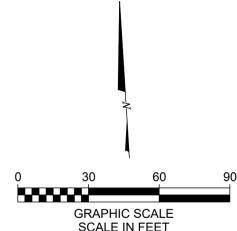
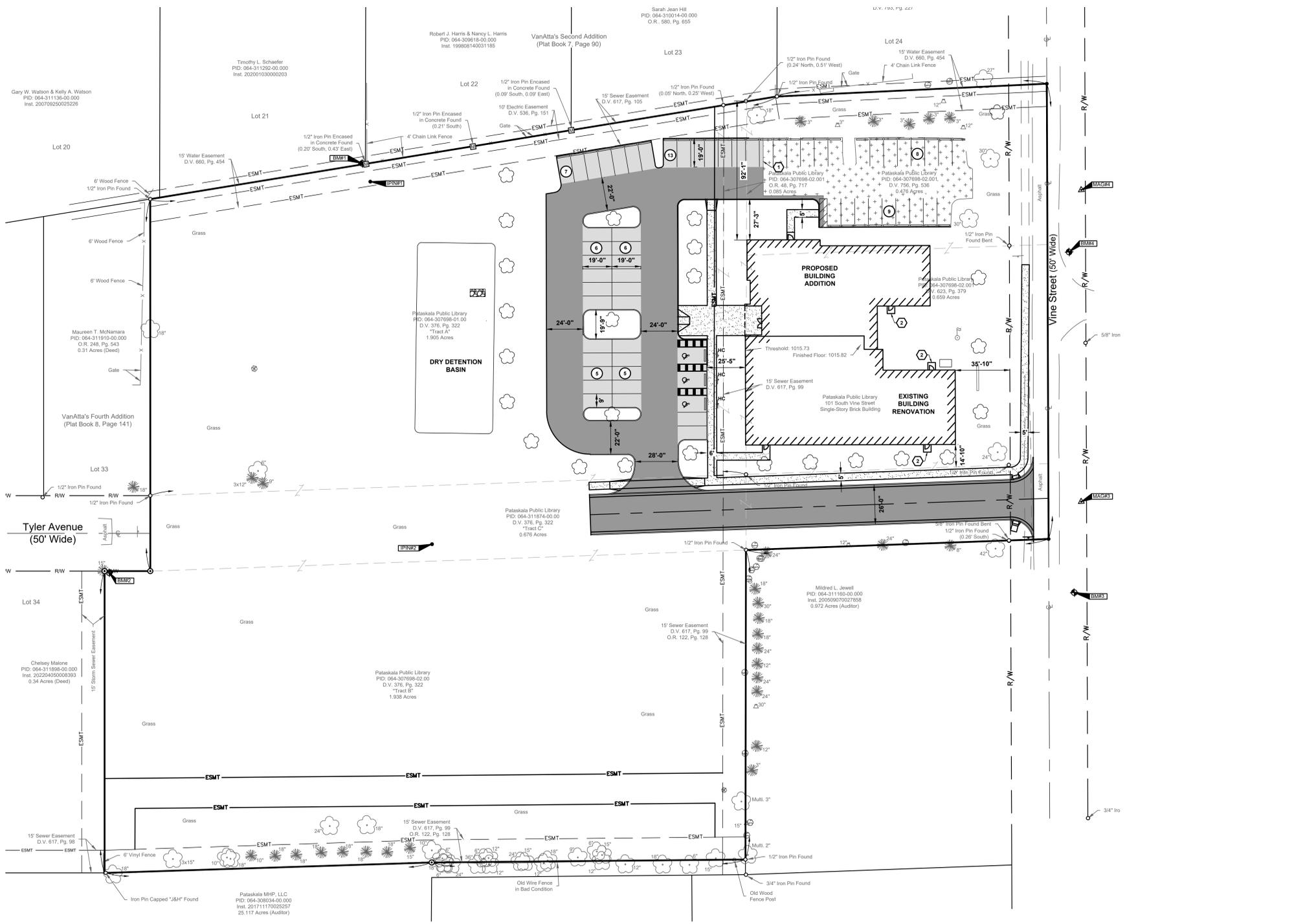
November 4, 2022

Property Owner (required):



Date:

November 4, 2022



STAKING LEGEND

- EXISTING**
REFER TO SHEET TS1
- PROPOSED**
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - EASEMENT
 - BUILDING WALL
 - STRAIGHT CURB PER COC STD. DWG. 2000
 - CURB AND GUTTER PER COC STD. DWG. 2010
 - PAVEMENT
 - WALK
 - PAINTED WHEELCHAIR SYMBOL
 - HANDICAPPED PARKING SIGN PER DETAIL F/C103
 - MEDIUM DUTY ASPHALT PER DETAIL B/C103
 - LIGHT DUTY ASPHALT PER DETAIL A/C103
 - CONCRETE SIDEWALK PER COC STD. DWG. 2300
 - ASPHALT MILL AND OVERLAY PER DETAIL G/C103

GENERAL NOTES:

1. DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER ODOT ITEM 641 AND 642. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE I OR TYPE IA PAINT IN ACCORDANCE WITH ODOT ITEM 642 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES, COLOR WHITE. PROVIDE TWO COATS.
4. STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 19'-0" IN LENGTH UNLESS OTHERWISE NOTED.
5. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER ODOT ITEM 409 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
6. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY AN OHIO REGISTERED SURVEYOR.
7. PROVIDE 3 HANDICAP ACCESSIBLE PARKING SIGNS AND 1 VAN ACCESSIBLE PARKING SIGNS AS SHOWN ON DETAIL A/C104. FINAL LOCATION OF SIGNS TO BE DETERMINED BY ARCHITECT.
8. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
9. REFER TO ARCHITECTURAL PLANS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
10. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
11. PROVIDE CONCRETE PARKING BLOCKS AT SPACES INDICATED PER DETAIL E/C103.
12. PROVIDE CONTROL JOINTS PER DETAIL C/C103. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL D/C103 AND PER SPECIFICATIONS.

CODED NOTES:

1. SAW-CUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.
2. CONCRETE STOOFF. REFER TO STRUCTURAL DRAWINGS.

PARKING CALCULATION		
USE	SQUARE FOOTAGE	CALCULATION
EXISTING LIBRARY	8,768 SF	
LIBRARY ADDITION	6,493 SF	
TOTAL	15,261 SF	1,400 GROSS SF
REQUIRED PARKING		39
PROPOSED PARKING		64
REQUIRED ADA PARKING (VAN/TOTAL)		1/3
PROPOSED ADA PARKING (VAN/TOTAL)		1/3



REVISIONS:	
DATE:	NOTE:

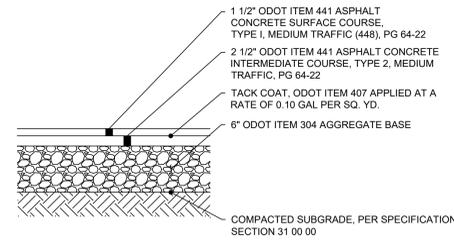
JOB #:	DATE:
2201	30 SEP 22
SHEET #:	

C101

NOT FOR CONSTRUCTION

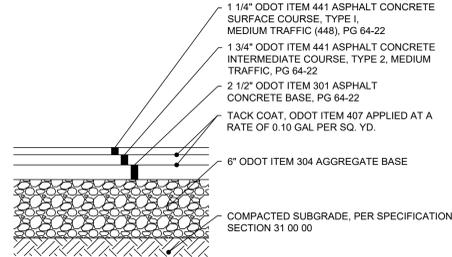
CONCEPTUAL DESIGN
 SCHEMATICS
 DESIGN DEVELOPMENT
 WORKING DRAWINGS FOR REVIEW

KORDA
 KORDA, NEMETH ENGINEERING
 1650 WATERMARK DRIVE
 SUITE 200
 COLUMBUS, OHIO 43215
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:
 PROJECT NUMBER: 2022-0003



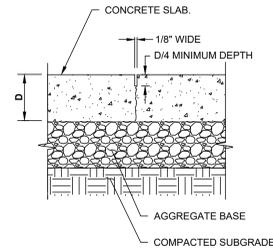
- NOTES:**
1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT REQUIREMENTS.
 2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
 3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA.
 4. PROVIDE QUALITY ASSURANCE TESTING IN ACCORDANCE WITH ODOT ITEM 441 AND SUPPLEMENTAL SPECIFICATION 1055.
 5. PROVIDE COMPACTION RANGING FROM 90 TO 97.9% OF THE AVERAGE MAXIMUM SPECIFIC GRAVITY FOR SURFACE COURSE AND 90 TO 96.9% FOR INTERMEDIATE COURSE. REMOVE AND REPLACE MATERIAL PLACED OUTSIDE OF SAID RANGES. PROVIDE REPLACEMENT PAVEMENT AND QUALITY ASSURANCE TESTING AT NO ADDITIONAL COST TO THE OWNER.

A DETAIL
LIGHT DUTY ASPHALT PAVEMENT N.T.S.



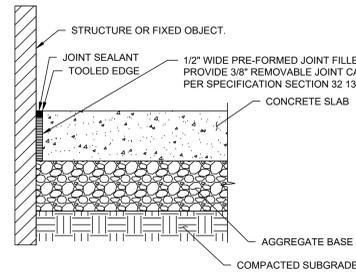
- NOTES:**
1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT REQUIREMENTS.
 2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
 3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA.
 4. PROVIDE QUALITY ASSURANCE TESTING IN ACCORDANCE WITH ODOT ITEM 448 AND SUPPLEMENTAL SPECIFICATION 1055.
 5. PROVIDE COMPACTION RANGING FROM 90 TO 97.9% OF THE AVERAGE MAXIMUM SPECIFIC GRAVITY FOR SURFACE COURSE AND 90 TO 96.9% FOR INTERMEDIATE COURSE. REMOVE AND REPLACE MATERIAL PLACED OUTSIDE OF SAID RANGES. PROVIDE REPLACEMENT PAVEMENT AND QUALITY ASSURANCE TESTING AT NO ADDITIONAL COST TO THE OWNER.

B DETAIL
MEDIUM DUTY ASPHALT PAVEMENT N.T.S.



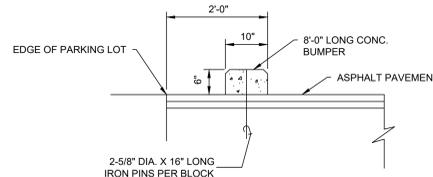
- NOTES:**
1. PLACE CONTROL JOINTS WITHIN 8 HOURS OF CONCRETE PLACEMENT AND AT LOCATIONS INDICATED ON THE STAKING PLAN. IF JOINTS ARE NOT SHOWN ON STAKING PLAN, PROVIDE AT LOCATIONS INDICATED BELOW:
A. SPACING (IN FEET) SHALL BE BETWEEN 2 TO 2-1/2 TIMES SLAB THICKNESS (IN INCHES IN BOTH DIRECTIONS (I.E. 4" SLAB SHALL HAVE JOINT SPACING OF 8-10 FEET).
B. GRID OF CONTROL JOINTS SHALL BE APPROXIMATELY SQUARE WITH LONGEST SIDE TO BE NOT LONGER THAN 1.5 TIMES THE SHORTEST SIDE (I.E. 4 FOOT WIDE WALK SHALL HAVE JOINT SPACING AT 4-6 FEET).

C DETAIL
SAW CUT CONCRETE CONTROL JOINT- LONGITUDINAL OR TRANSVERSE N.T.S.

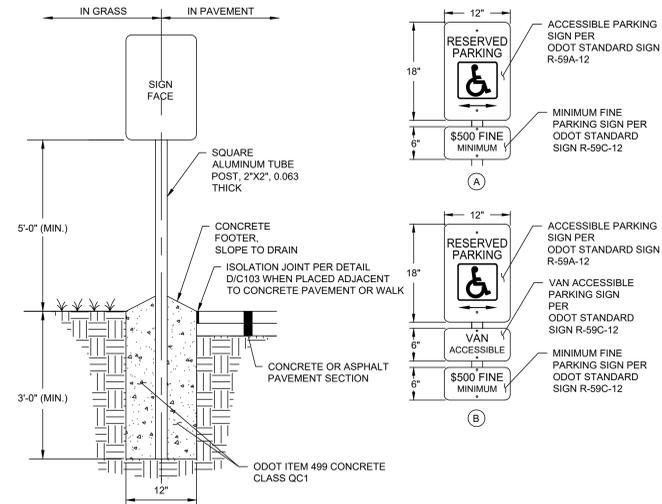


- NOTES:**
1. PLACE ISOLATION JOINTS WHERE NEW CONCRETE SLAB ABUTS STRUCTURES OR FIXED OBJECTS INCLUDING: BUILDINGS, WALLS, COLUMNS, POLE BASES, CURBS, CATCH BASINS, EXISTING CONCRETE, OR AS NOTED ON THE STAKING PLAN.
 2. PROVIDE AT FORMED EDGE OF PREVIOUSLY POURED SLABS. SEAL JOINT WITH JOINT SEALANT. SEE SPECIFICATION SECTION 32 13 00.
 3. SUBMIT SAMPLE FOR COLOR APPROVAL. PRE-FORMED JOINT FILLER - NON-IMPREGNATED TYPE, CLOSED CELL RESILIENT POLYETHYLENE FOAM, 1/2" THICK UNLESS OTHERWISE NOTED. CERAMAR FLEXIBLE FOAM EXPANSION JOINT BY W.R. MEADOWS OR EQUAL MEETING THE REQUIREMENTS OF ASTM D 1752 SECTIONS 5.1 THROUGH 5.4. REFER TO SPECIFICATION SECTION 32 13 00.

D DETAIL
CONCRETE ISOLATION JOINT N.T.S.

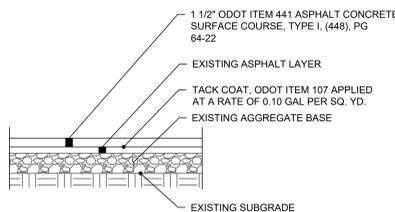


E DETAIL
BUMPER BLOCK N.T.S.



- NOTES:**
1. PROVIDE SIGN IN ACCORDANCE WITH ODOT ITEM 630.
 2. PROVIDE 0.063 THICK, FLAT ALUMINUM SIGN PANELS.
 3. PROVIDE REFLECTIVE FINISH ON SIGN.
 4. PROVIDE PERMANENT WEATHERPROOF ALUMINUM CAP ON POST TOP.
 5. PROVIDE "VAN ACCESSIBLE" SIGN WHERE NOTED ON DRAWINGS.
 6. ATTACH SIGNS WITH UNISTRUT UNIVERSAL DRIVE RIVET OR APPROVED EQUAL.
 7. ACCESSIBLE SIGNAGE TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED BY LOCAL CODE.

F DETAIL
PARKING SIGNS N.T.S.



- NOTES:**
1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT REQUIREMENTS.
 2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
 3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA. THE AGENCY PERFORMING THE TESTING MUST BE LEVEL III BITUMINOUS CONCRETE APPROVED BY ODOT.
 4. THE AGENCY PERFORMING THE TESTING MUST HAVE A CURRENT LEVEL I BITUMINOUS CONCRETE APPROVAL FROM ODOT.
 5. PROVIDE COMPACTION RANGING FROM 90 TO 97.9% OF THE AVERAGE MAXIMUM SPECIFIC GRAVITY FOR SURFACE COURSE AND 90 TO 96.9% FOR INTERMEDIATE COURSE. REMOVE AND REPLACE MATERIAL PLACED OUTSIDE OF SAID RANGES. PROVIDE REPLACEMENT PAVEMENT AND QUALITY ASSURANCE TESTING AT NO ADDITIONAL COST TO THE OWNER.

G DETAIL
MILL AND FILL ASPHALT PAVEMENT N.T.S.



REVISIONS:		
DATE:	NOTE:	

NOT FOR CONSTRUCTION	KORDA KORDA, NEMETH ENGINEERING 1650 WATERMARK DRIVE SUITE 200 COLUMBUS, OHIO 43215
<input type="radio"/> CONCEPTUAL DESIGN <input type="radio"/> SCHEMATICS <input checked="" type="radio"/> DESIGN DEVELOPMENT <input type="radio"/> WORKING DRAWINGS FOR REVIEW	DRAWN BY: _____ DESIGNED BY: _____ CHECKED BY: _____ PROJECT NUMBER: 2022-0003

JOB #: 2201	DATE: 30 SEP 22
SHEET #: C103	

- (X) CODED NOTES:**
- BACKFILL WITH COMPACTED BACKFILL PER CMSC ITEM 911
 - BACKFILL WITH COMPACTED GRANULAR MATERIAL PER CMSC ITEM 912
 - CONCRETE ENCASEMENT PER CMSC ITEM 910
 - INSTALL REINFORCED CONCRETE PIPE PER CMSC ITEM 706.02
 - SEWER PIPE WITH WATERTIGHT JOINTS PER CMSC ITEM 901.15
 - BACKFILL WITH TYPE I FLOWABLE CONTROL DENSITY FILL PER ITEM 613.
 - PROVIDE ODOT TYPE C ROCK CHANNEL PROTECTION 18" DEEP X 10' LONG X WIDTH OF HEADWALL.

APG

architects, llc
3808 James Court, Suite One
Zanesville, Ohio 43701
Voice (740) 454-3211
www.APG-Architects.com



172 E. State Street, Suite 600
Columbus, Ohio 43215
Voice (614) 942-1050
www.weartriad.com

DD PHASE DOCUMENTS

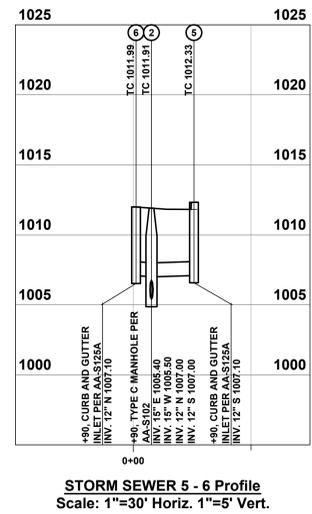
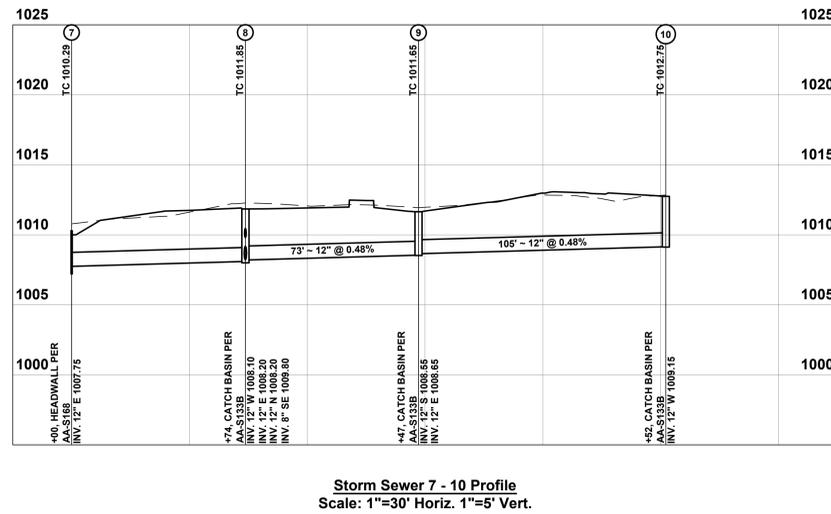
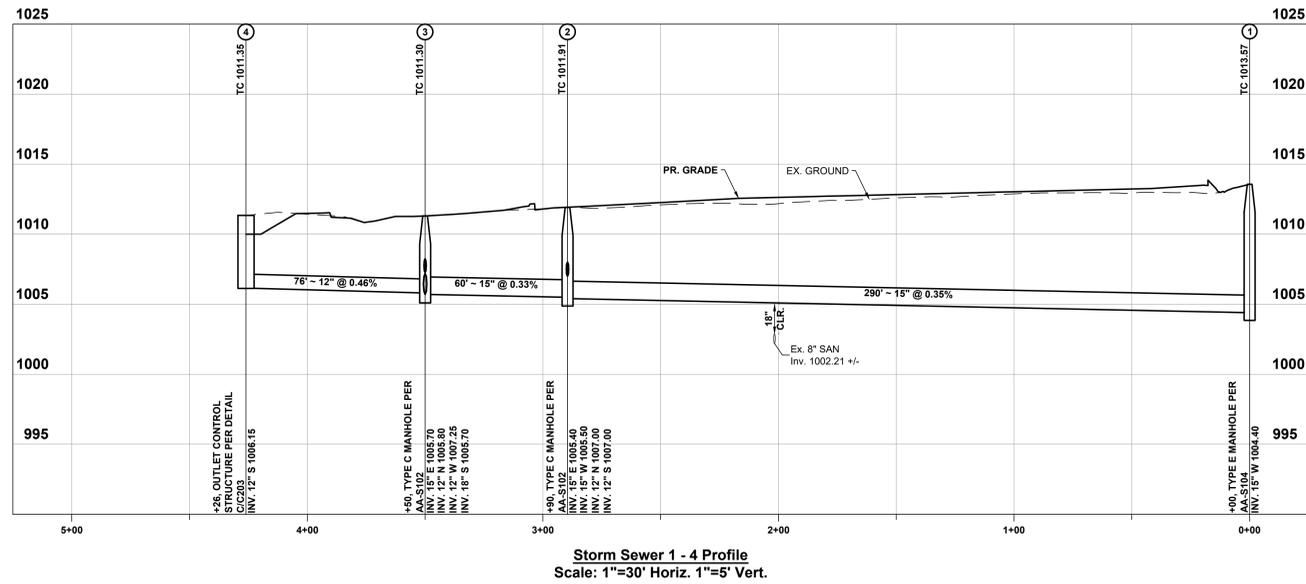
9/30/2022

NOT FOR CONSTRUCTION

APG Architects LLC
Triad
Civil Engineer
Korda
Landscape Architect
PlanIT Studios
Site/Civil Engineer
Korda
Site/Civil Engineer
Korda
Landscape Architect
LDA Library Design Associates

PATASKALA PUBLIC LIBRARY ADDITION & RENOVATION

STORM SEWER PROFILES



REVISIONS:		
Δ	DATE:	NOTE:

NOT FOR CONSTRUCTION

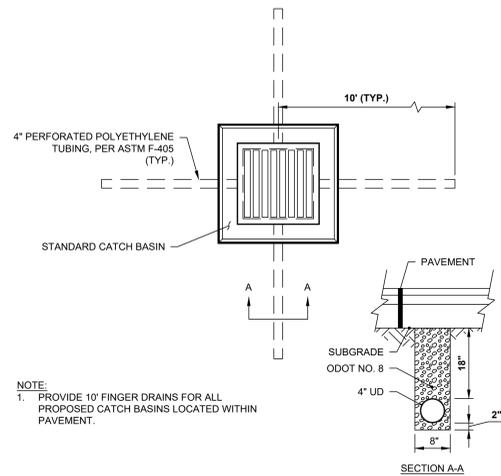
KORDA
KORDA, NEMETH ENGINEERING
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215

DESIGNED BY: _____
CHECKED BY: _____
PROJECT NUMBER: 2022-0003

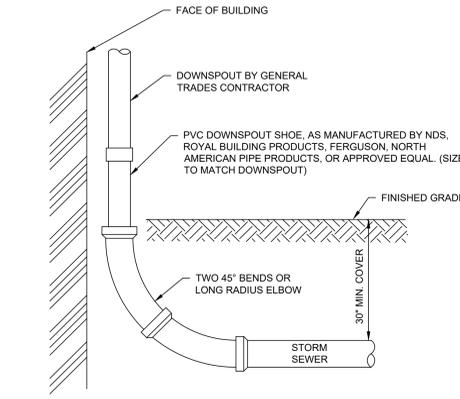
JOB #: 2201 DATE: 30 SEP 22

SHEET #: **C202**

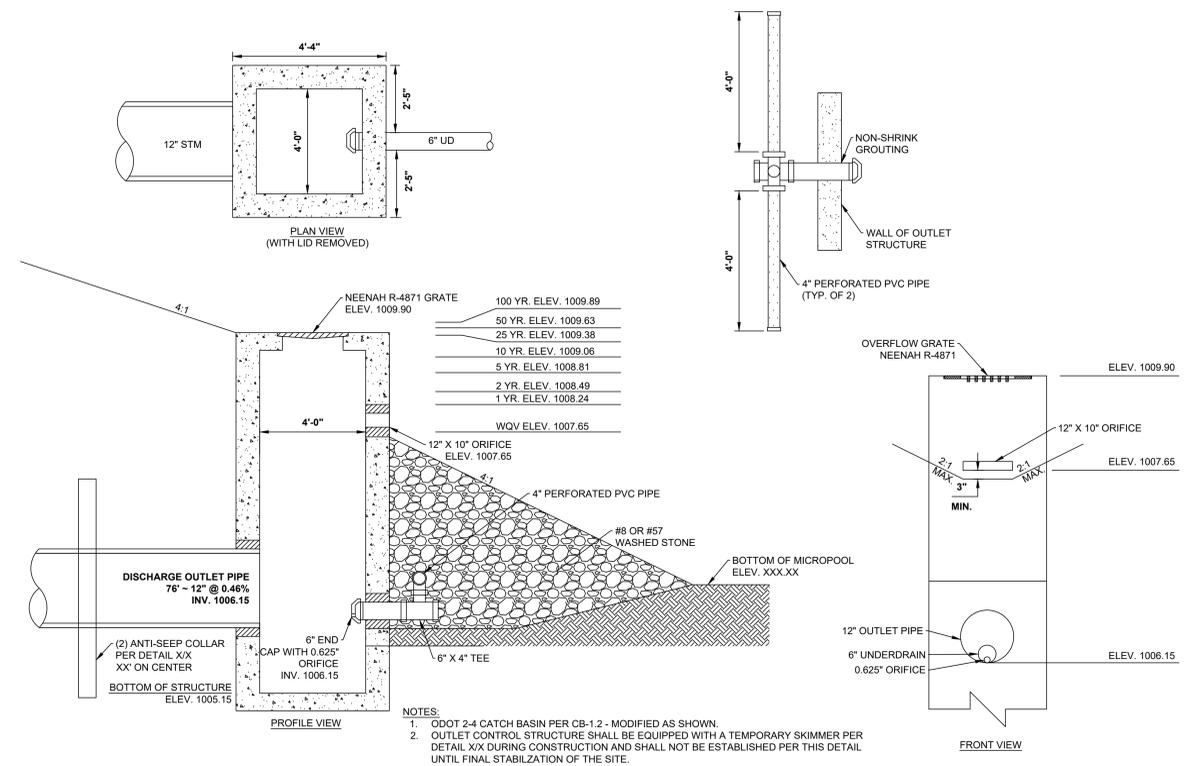




A DETAIL
PAVEMENT UNDERDRAIN N.T.S.



A DETAIL
DOWNSPOUT ADAPTER N.T.S.



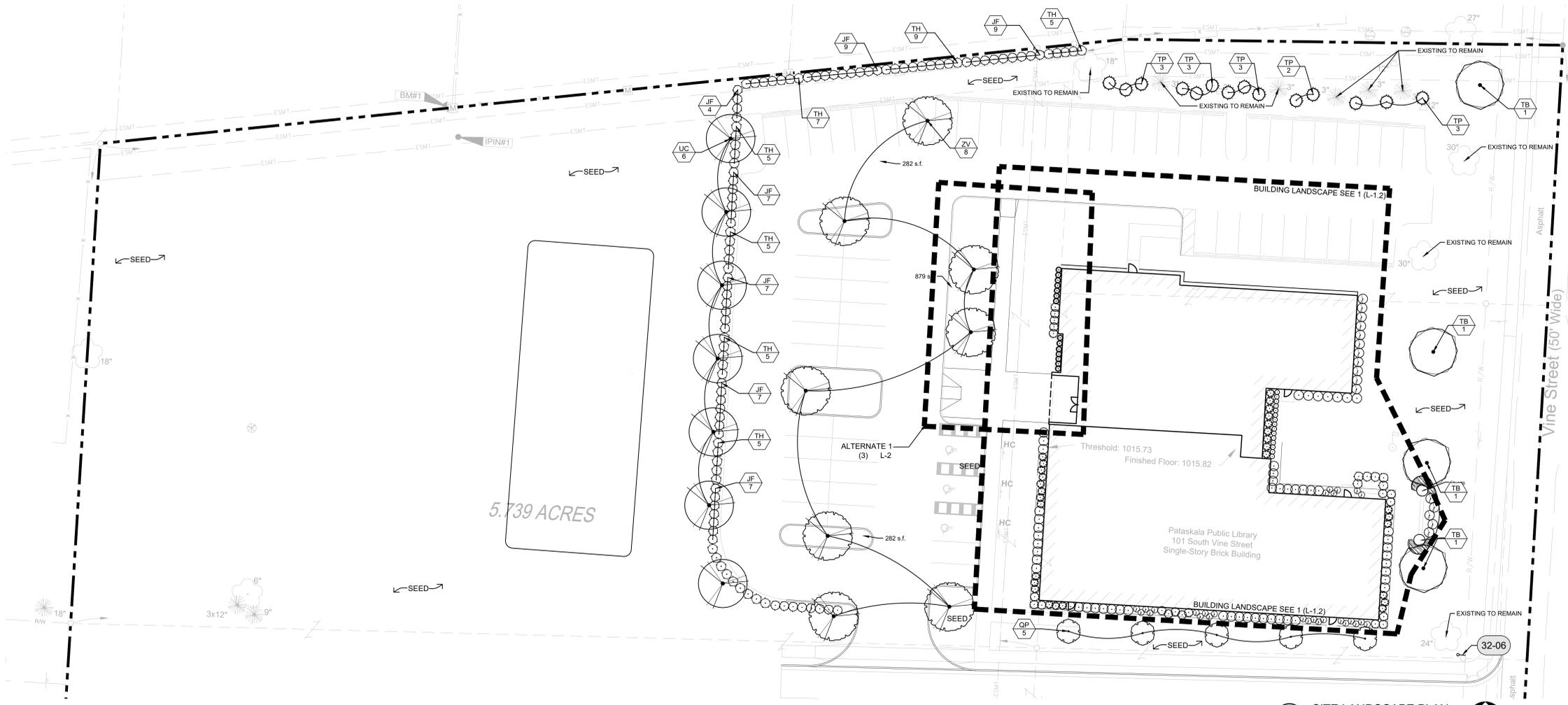
C DETAIL
OUTLET CONTROL STRUCTURE N.T.S.



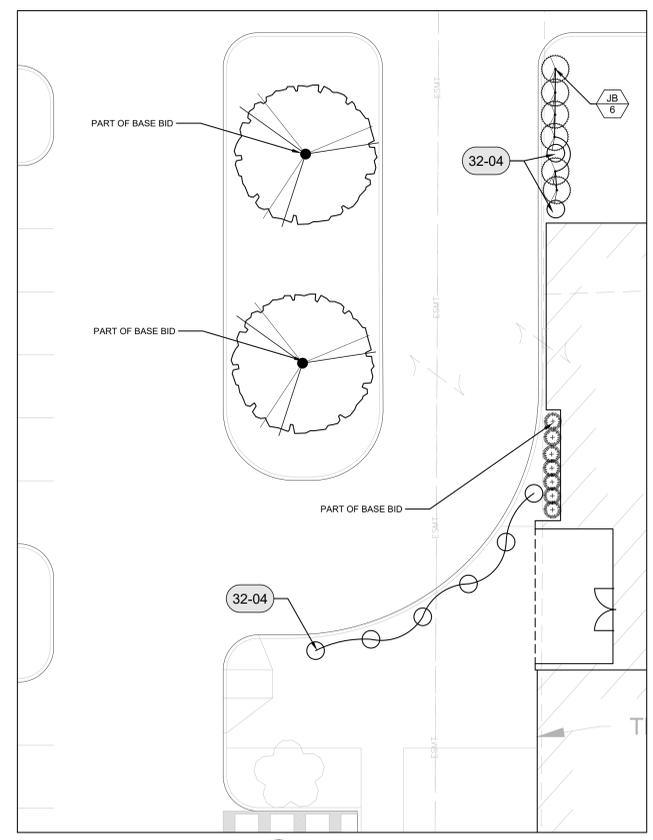
NOT FOR CONSTRUCTION	KORDA KORDA, NEMETH ENGINEERING 1650 WATERMARK DRIVE SUITE 200 COLUMBUS, OHIO 43215
<input type="radio"/> CONCEPTUAL DESIGN <input type="radio"/> SCHEMATICS <input checked="" type="radio"/> DESIGN DEVELOPMENT <input type="radio"/> WORKING DRAWINGS FOR REVIEW	DRAWN BY: _____ DESIGNED BY: _____ CHECKED BY: _____ PROJECT NUMBER: 2022-0003

REVISIONS:	
NO.	DATE: NOTE:

JOB #: 2201	DATE: 30 SEP 22
SHEET #: C203	



1 SITE LANDSCAPE PLAN
1"=20'-0"
NORTH



3 DRIVE THRU ALTERNATE 1
1"=20'-0"
NORTH



2 DIRECTIONAL SIGN EXAMPLE
N.T.S.

LANDSCAPE ZONING NARRATIVE:

Buffer Yards
Front Yard (Vine): L2 Required. We used a hybrid of the L2 to best enhance the front facade of the new and existing building, as well as preserve large existing trees. Extensive plantings were added around the foundation of the building and trees were added to the tree lawn to meet the tree requirements.

Front Yard (Tyler): L2 Required. The proximity of the existing building to the ROW of Tyler Avenue required the use of a hybrid L2 to meet the requirements. We focused on shrub plantings along the foundation of the existing building and added trees to the tree lawn to meet the requirements.

Rear Yard: L3 Required. The distance between the edge of the parking and the residential lots is utilized as a natural buffer. In addition, there is a continuous evergreen planting between the parking lot and natural buffer. This, along with the required parking perimeter trees will act as an additional buffer between our development and the adjacent residential lots.

Side Yard: L-3 Required. Due to the public utility easement along the northern property boundary we adapted the L-3 buffer to provide an adequate buffer given the conditions. Evergreen shrubs are planted in a continuous boundary between vehicular use and residential lots. Where space allowed additional evergreen trees were added to existing trees to create an evergreen barrier.

Trash Disposal
There is no receptacle planned.

Perimeter Screening and/or Landscape.
Whenever a parking area is located in or adjacent to a residential, agricultural, or PRO district, it shall be effectively screened on all sides which adjoin or face any property used for residential, agricultural, or PRO purposes by an acceptably designed wall, a fence that is 75% opaque (made of natural material or material that appears to be natural), landscaped berm, or planting screen. Such fence, wall, or planting screen shall be not less than four feet nor more than eight feet in height and shall be maintained in good condition. The space between such fence, wall berm, or planting screen and the lot line of the adjoining premises in any residential, agricultural, or PRO district shall be landscaped with grass, hardy shrubs or evergreen ground cover, and maintained in good condition.

A continuous evergreen screen has been designed between all vehicular use areas and adjacent parcels / ROW. The evergreens are to be maintained at 4' height.

Interior Screening and/or Landscape.
All surface parking areas with more than 10 spaces shall provide curbed interior landscaping complying with one or a mix of the standards set forth below:

a. Option 1 - Interior landscaping shall be provided at the rate of 20 square feet per stall. At least one tree must be provided for every 200 square feet of landscaped area. Ground cover plants as listed in Chapter 1283 must completely cover the remainder of the landscaped area.

b. Option 2 - One tree must be provided for every four parking spaces. The tree planting area must have a minimum dimension of 25 square feet. All island trees shall be protected from potential damage by vehicles.

Option 1 was chosen to meet the requirements. 64 parks * 20 s.f. = 1,280 s.f. Of required interior landscape. 1,280 / 200 = 6.4 trees required. 7 provided on plan.

PLANT SCHEDULE SITE

TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
QP	5	Greenpillar Pin Oak / Quercus palustris 'Pringreen' TM	B & B	2" cal	
TB	4	Boulevard American Linden / Tilia americana 'Boulevard'	B & B	2" cal	
TP	14	Western Red Cedar / Thuja plicata	B & B		6'-7' HT.
UC	7	American Elm / Ulmus x 'Frontier'	2" cal.		
ZV	8	Sawleaf Zelkova / Zelkova serrata 'Village Green'	2" cal.		
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT		
JF	56	Sea Green Juniper / Juniperus chinensis 'Sea Green'	24" HT MIN		
TH	50	Hicks Yew / Taxus x media 'Hicksii'	24" HT MIN		

PLANT SCHEDULE ALTERNATE 1

SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT
JB	6	Blue Chip Juniper / Juniperus horizontalis 'Blue Chip'	12" No.3

REFERENCE NOTES SCHEDULE SITE

SYMBOL	DESCRIPTION	QTY	DETAIL
32-04	32 EXTERIOR IMPROVEMENTS WAUSAU ROUND CONCRETE PLANTER TF4030 (FINISH TO BE SPECIFIED) PLANTED WITH SEASONAL DISPLAYS		
32-06	DIRECTIONAL POLE SIGN. 10 HT. MAX. DESIGNED PER PATASKALA SIGN STANDARDS. SEE IMAGE L-1.1. FINAL DESIGN TBD.		

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN IT CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, UTILITIES, EASEMENTS OR FIELD GATHERED DATA.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL INCLUDE FOR PAYMENT THE COSTS OF REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE SCOPE OF PROPOSED WORK.
- LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL CALL UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT REMOVE ANY TREES, SHRUBS, OR OTHER LANDSCAPE FEATURES NOT IDENTIFIED FOR REMOVAL WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS AT ALL TIMES.
- ALL DIMENSIONS AND WALL RADII ARE TAKEN TO FACE OF CURB OR WALL, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY OWNERS REP OF ANY DISCREPANCIES.
- ALL CONCRETE WORK TO RECEIVE CONTROL JOINTS AT 5' O.C. AND EXPANSION JOINTS AT 30' O.C. MAXIMUM, WITH LIGHT BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.



REVISIONS:	
DATE:	NOTE:

JOB #: XXXX	DATE: 7 DEC 22
SHEET #:	

GENERAL PLANTING NOTES:

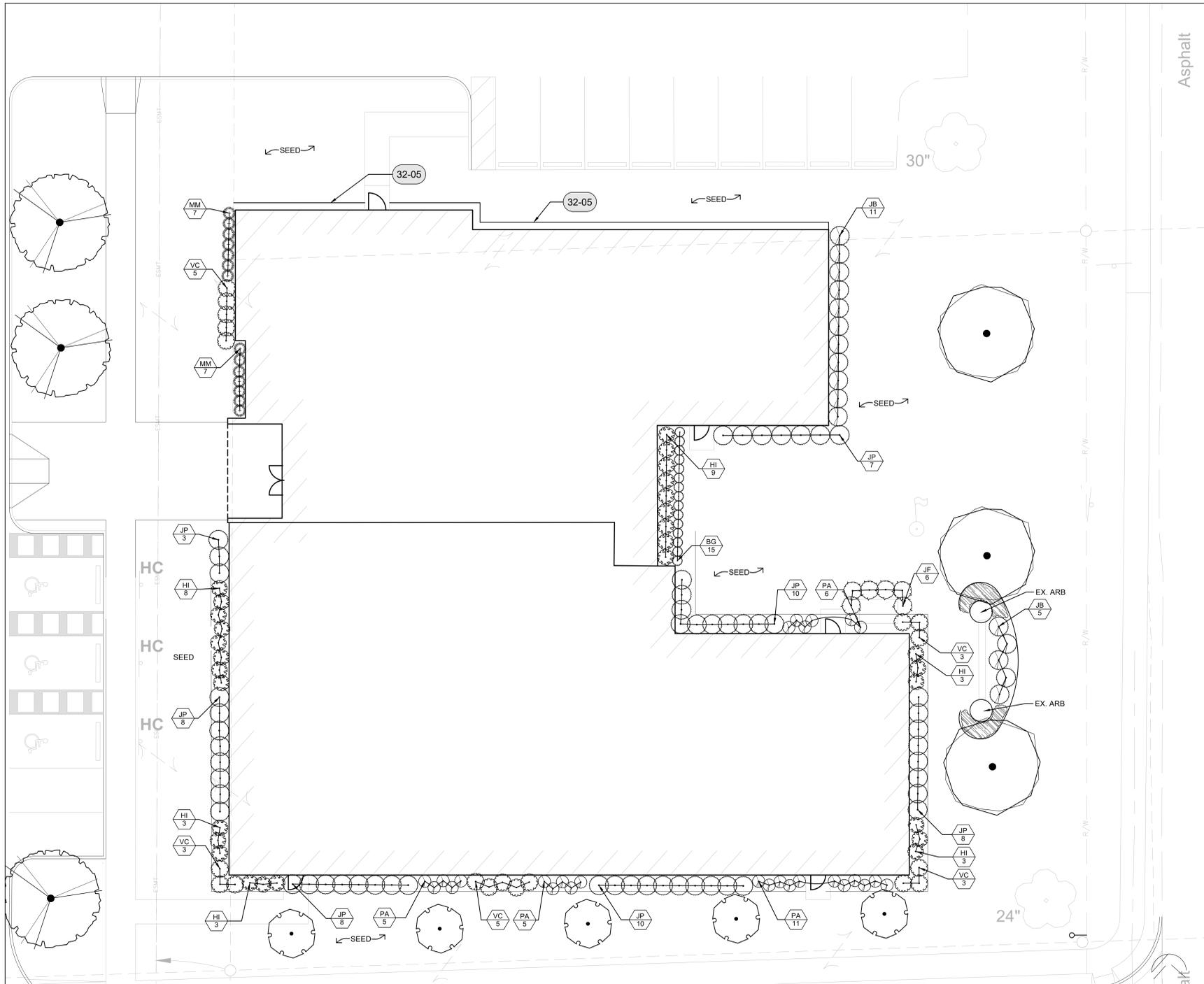
1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLANT STUDIOS CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, EASEMENTS OR FIELD GATHERED DATA.
2. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
5. ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
6. CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
7. ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-2014) IN REGARDS TO SIZING, GROWING AND B&B SPECIFICATIONS.
8. ALL PROPOSED PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 6". ADDITIONAL AMENDMENTS TO BE ADDED PER SOILS REPORT.
9. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-8 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.
11. IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
12. CONTRACTOR TO PROVIDE A FULL 1 YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF APPROVAL FROM OWNER'S REPRESENTATIVE AND CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE OTHERWISE.
13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSES SHALL HAVE A MINIMUM 3" DEEP 1-2" WASHED RIVER GRAVEL MULCH. MULCH HEDGES IN A CONTINUOUS BED. ALL PLANTING BEDS TO BE EDGED TO MATCH MOW STRIP DETAIL 5 (L-1.2). ALL GRAVEL TO BE SEPERATED FROM SOIL WITH NONWOVEN LANDSCAPE FABRIC.
15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.
16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDDED. (SEE LANDSCAPE PLANS). SEEDING OR SODDING BY LANDSCAPE CONTRACTOR.
17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM. IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM.

REFERENCE NOTES SCHEDULE FOUNDATION

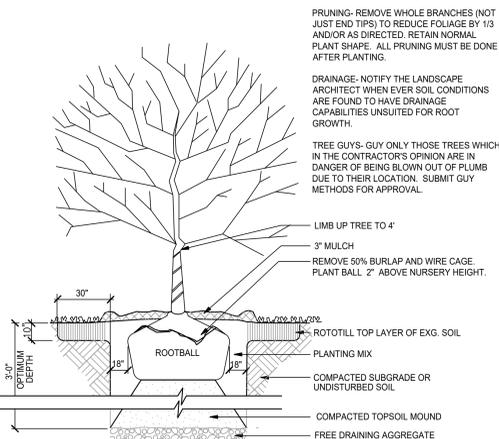
SYMBOL	DESCRIPTION	QTY	DETAIL
02-01	EXISTING FLAG POLE		
32-01	LED INTEGRATED BOLLARD. (SEE ELECTRICAL PLANS)		
32-02	BENCH		
32-03	MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.		
32-04	WAUSAU ROUND CONCRETE PLANTER TF4030 (FINISH TO BE SPECIFIED) PLANTED WITH SEASONAL DISPLAYS		
32-05	WASHED RIVER GRAVEL MOW EDGE. 1-2" LOCAL WASH RIVER GRAVEL, 3" DEPTH SECURED WITH 3.5" PERMALOK PERMASTRIP		
32-07	COMPACTED GRAVEL WALKWAY. 4" LIMESTONE FINES WITH PREMIX STABILIZER.		

PLANT SCHEDULE FOUNDATION

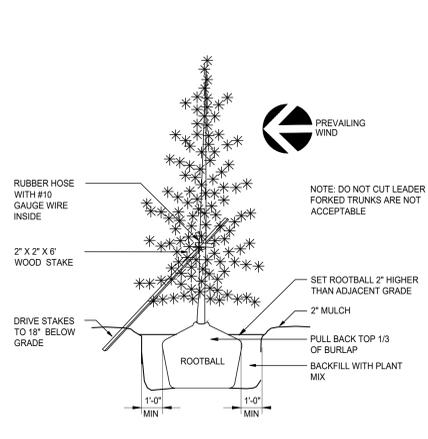
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	
BG	15	Green Velvet Boxwood / Buxus x 'Green Velvet'	B & B	
HI	27	Applause Oakleaf Hydrangea / Hydrangea quercifolia 'Applause'	No. 5 Cont. 24" min	
JB	16	Blue Chip Juniper / Juniperus horizontalis 'Blue Chip'	12" No.3	
JP	6	Sea Green Juniper / Juniperus chinensis 'Sea Green'	24" HT MIN	
JP	54	Kallay Compact Pfizer Juniper / Juniperus chinensis 'Kallays Compact'	24" SP	
MM	14	Morning Light Eulalia Grass / Miscanthus sinensis 'Morning Light' IF ALTERNATE 1 IS SELECTED REDUCE OVERALL COUNT BY 7	1 gal	
PA	26	Russian Sage / Perovskia atriplicifolia	CLUMP No. 2 Cont.	
VC	16	Cayuga Koreanspice Viburnum / Viburnum carlesii 'Cayuga' IF ALTERNATE 1 IS SELECTED REDUCE OVERALL COUNT BY 5	5 gal	
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT	SPACING
LR	73	Royal Purple Lilyturf / Liriope muscari 'Royal Purple'	4" pot	12" o.c.



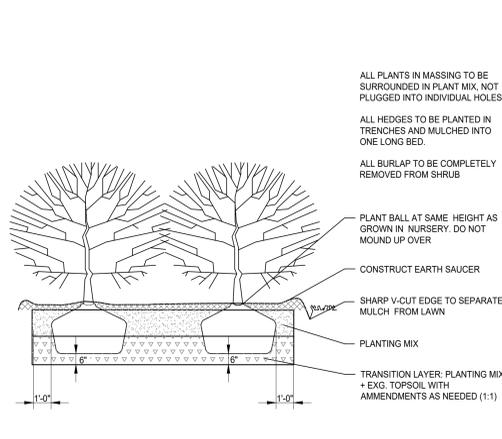
1 FOUNDATION PLANTING ENLARGEMENT
1" = 10'-0"



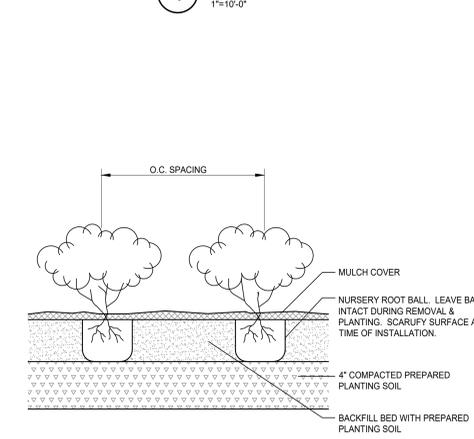
1 DECIDUOUS TREE PLANTING
NTS P-CO-SAN-TOS01-02



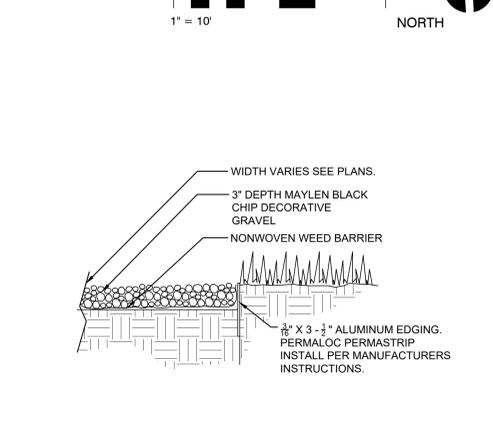
2 EVERGREEN TREE PLANTING
NTS P-CO-WES-08



3 SHRUB PLANTING GROUP
NTS P-CO-AND-WADS-04



4 PERENNIAL AND GROUND COVER INSTALLATION
NTS P-CO-WES-08



5 GRAVEL RESTRAINT
1 1/2" = 1'-0" P-CO-APG-PATA-01

PATASKALA PUBLIC LIBRARY ADDITION & RENOVATION



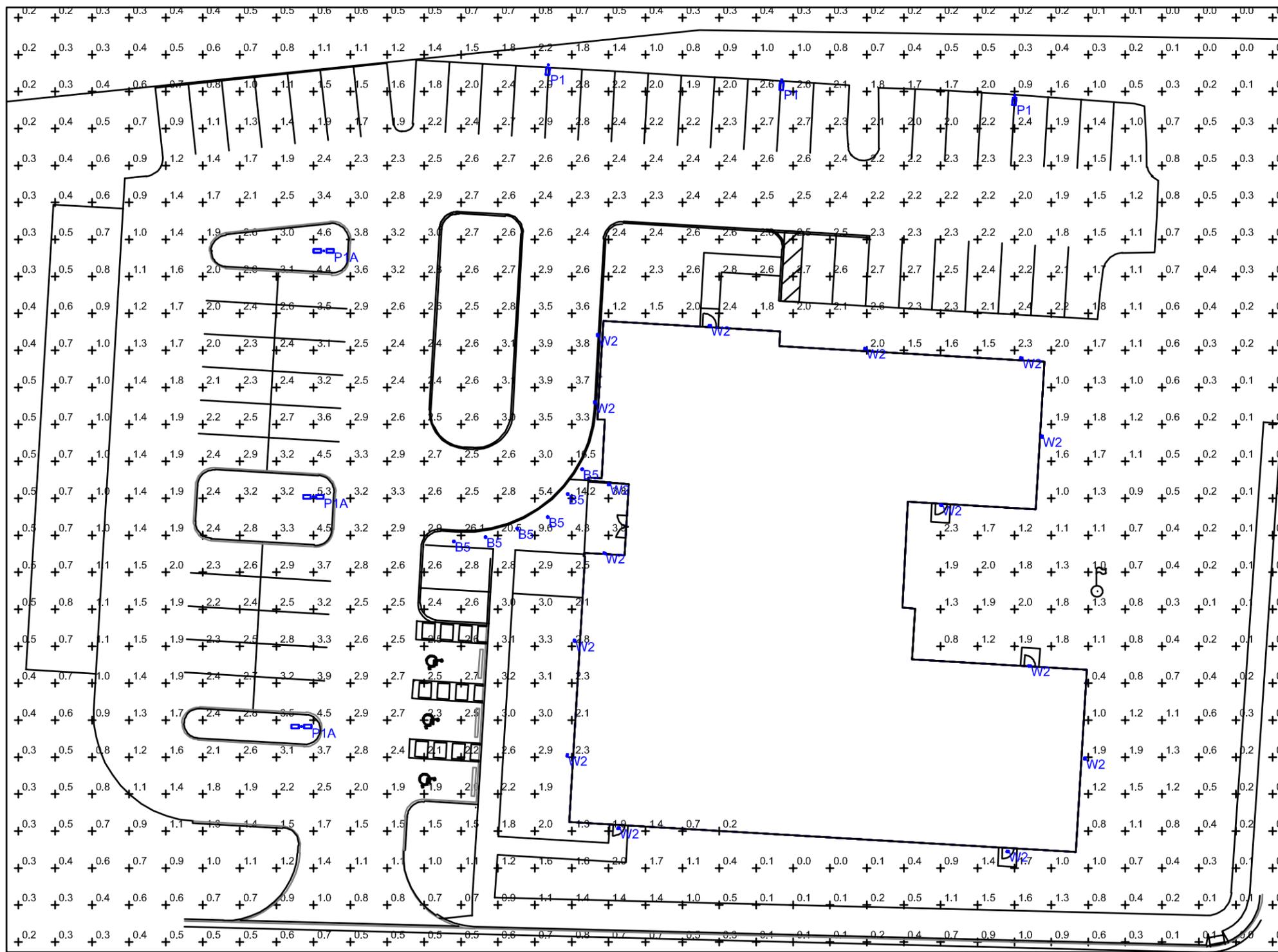
REVISIONS:

DATE:	NOTE:

JOB #: XXXX **DATE:** 7 DEC 22
SHEET #:



**PATASKALA LIBRARY
SITE PHOTOMETRIC ANALYSIS**



Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	P1A		3	Lithonia Lighting	DSX1 LED P3 40K T4M MVOLT G1	DSX1 LED P3 40K T4M MVOLT	1	12308	0.9	204
	P1		3	Lithonia Lighting	DSX1 LED P3 40K T4M MVOLT HS G1	DSX1 LED P3 40K T4M MVOLT with houseside shield	1	9552	0.9	102
	B5		6	BEGA Converted by LUMCat V 11.05.2017 / H.R.		99 862 K3	1	1281	0.9	19.8
	W2		15	Lithonia Lighting	WDGE2 LED P3 40K 80CRI TFTM	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	3166	0.91	32.1375

Designer

PSG/KNE

Date

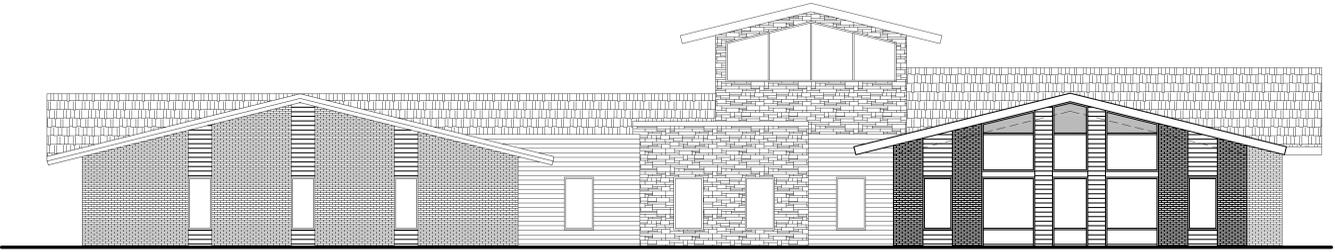
12/07/2022

Scale

Not to Scale

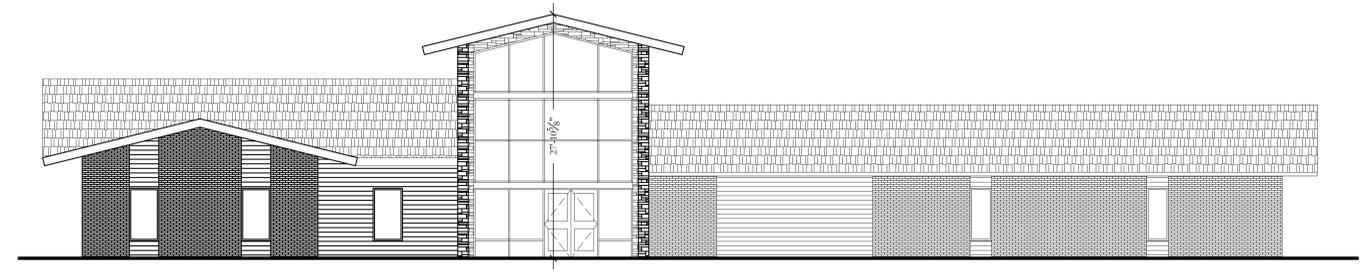
Drawing No.

Summary



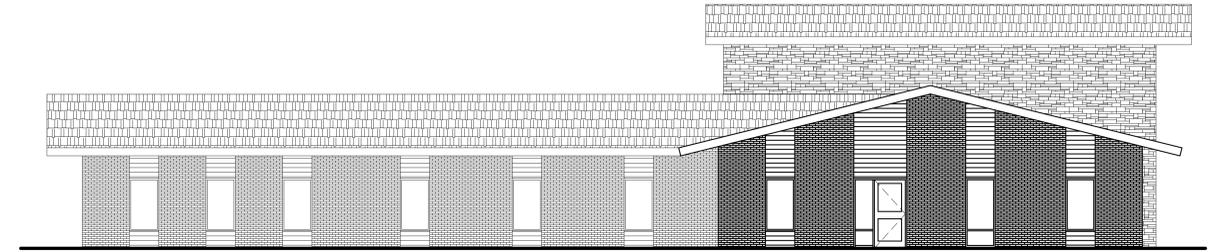
EAST ELEVATION

1/8"=1'-0"



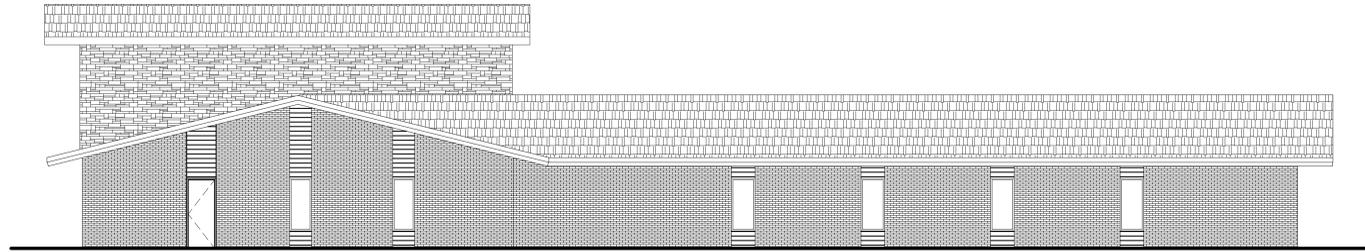
WEST ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"



REVISIONS:		
Δ	DATE:	NOTE:

JOB #: 2201	DATE: 02 DEC 22
SHEET #:	

322

25117

General Warranty Deed

~~I (We)~~ Bethel Baptist Church, an Ohio Non Profit Corporation ⁽¹⁾ of

Licking County, Ohio for valuable consideration paid, grant(s), with General

Warranty covenants, to Pataskala Public Library

whose tax-mailing address is 101 South Vine Street, Pataskala, Ohio 43062

the following Real Property: Situated in the Village ⁽²⁾ of Pataskala

County of Licking, and State of Ohio: ⁽³⁾

Three parcels of land, (Tract A, B & C) and more particularly bounded and described in the attached Exhibit A, page 1 and 2.

Tract A: 2.469 acres, excepting therefrom 0.478 acre and

Tract B: 1.945 acres, more or less

Tract C: 0.675 acres, more or less

Subject to all planning, zoning and other governmental land use regulations and restrictions, if any, and all easements, leases, street and highway rights of way and any and all other conditions and restrictions of record, if any.

Being part of the same premises conveyed by Warranty Deed from Linda L. Howes, married, to Bethel Baptist Church, dated December 8th, 1982, filed for record December 10th, 1982 and recorded in Vol. 830 page 129, Deed Records, Licking County, Ohio.

Except the taxes and assessments for the year 1991 amount not yet determined which the grantee assumes and agrees to pay as a part of the consideration hereof.

Prior Instrument Reference: Vol. Page of the Deed Records of County, Ohio

~~I (We)~~
~~release of all rights of mine in the above described premises~~

Witness hand(s) this 21st day of May, 19 91.

Signed and acknowledged in the presence of:

Bethel Baptist Church, an Ohio Non Profit Corporation ⁽⁴⁾

Cheryl A. Howes
Witness

By Guy E. Raines
Guy E. Raines, Trustee

Doris J. Watson
Witness

By Charles H. Law
Charles H. Law, trustee
By Willard R. Kammeyer
Willard R. Kammeyer, Trustee

State of Ohio, } ss Before me, a notary public, in and for said County, personally appeared the
LICKING County, } above named Bethel Baptist Church, an Ohio Non Profit Corporation, Guy F. Raines, Trustee and Willard R. Kammeyer, Trustees per resolution of the Church membership dated 4/14/91 who acknowledged that they did sign the forgoing instrument, and that the same is their free act and deed.

In Testimony Whereof I have hereunto set my hand and official seal, at Pataskala, Ohio

this 21st day of May A.D. 19 91

This instrument prepared by Howard G. Robinson, Co. L.P.A. Pataskala, Ohio 43062

Doris J. Watson
Notary Public DORIS J. WATSON

Notary Public, State of Ohio
My Commission Expires March 1, 1992

- Name of Grantor(s) and marital status.
- Village, Township, or City.
- Description of land or interest therein, and encumbrances, reservations, exceptions, taxes and assessments.
- Execution in accordance with Chapter 5301 of the Ohio Revised Code.

TRANSFERRED

Auditor's and Recorder's Stamps

Date May 22 1991

Geo D Buchanan
Licking County Auditor

MAILED
Howard G. Robinson Co., L.P.A.
Attorney at Law P.O. 76
Pataskala, Ohio 43062



Buyer: Pataskala Public Library

EXHIBIT A

Situated in the County of Licking, State of Ohio and Village of Pataskala and bounded and described as follows:

Tract A:

Beginning at a point in the Southeast corner of Lot No. 33, in VanAtta's Fourth Addition as recorded in Plat Book 8, pages 141 and 142, in the Licking County Recorder's Office; thence North 87° 46' East 391.20 feet to a point marked by an iron pin which is the Southwest corner of Pataskala Library 0.57 acre tract in Vol. 623 page 384, Deed Records, Licking County, Ohio; thence North 0° 09' West along the West line of Pataskala Library tract, 145 feet to a point marked by an iron pin at the Northwest corner of Pataskala Library Tract; thence North 87° 44' 30" East along the North Line of Pataskala Library tract, 197.03 feet to a point in the centerline of Vine Street; thence North 0° 08' West 106.86 feet, along the centerline of said Vine Street, to a point which is the Southeast corner of Lot #24 in VanAtta's Second Addition as recorded in Plat Book 7, pages 90 and 91 in the Licking County Recorder's Office; thence South 87° 07' West 176.90 feet, along the South line of said Lot #24, to a point marked by an iron pin, which point is the Southwest corner of Lot #24; thence South 80° 24' West 416.88 feet, along the South line of said VanAtta's Second Addition, to a point which is the Northeast corner of said Lot #33; thence South 0° 10' West 196.44 feet, along the East line of said Lot #33, to the place of beginning containing 2.469 acres, more or less.

EXCEPTING THEREFROM that certain parcel of real estate conveyed from Lula B. VanAtta to Pataskala Public Library recorded in Vol. 756 page 536, Deed Records, Licking County, Ohio, and described as follows:

Beginning at a point which is the southwest corner of Lot #24 in VanAtta's Second Addition as recorded in Plat Book 7, pages 90 and 91, in the Licking County Plat Records, said point being marked by an iron pin; thence North 87° 07' East, along the south line of said Lot #24, and passing an iron pin at 151.90 feet to a point in the centerline of Vine Street; thence South 0° 8' East, along the centerline of Vine Street, 106.86 feet to a point; thence South 87° 44' 30" West, along the North line of Pataskala Library lot (Deed Book 623, page 379, Recorder's Office, Licking County, Ohio), passing an iron pin at 25 feet, 197.03 feet to the northwest corner of the Library lot, marked by an iron pin; thence North 0° 09' West, 102.31 feet to an iron pin set on the south line of Lot #23 of VanAtta's Second Addition; thence North 80° 24' East, along the South line of said Lot #23, 20.51 feet to the place of beginning, containing 0.478 acre, more or less.

Further EXCEPTING THEREFROM that certain parcel conveyed by Bethel Baptist Church to the Pataskala Public Library by deed dated March 19th, 1985, filed for record March 25th, 1985 and recorded in Vol. 48 page 717, Official Records, Recorder's Office, Licking County, Ohio and bounded and described as follows:

Beginning at a point which is the Grantor's northeast property corner of Tract A, as described in Volume 830, page 129 of the Licking County Deed Records; thence South 0° 09' East, along the Grantor's easterly property line, and the westerly line of the Pataskala Public Library property as recorded in Volume 756, page 536, and Volume 623 page 379 of the Licking County Deed Records, 247.31 feet to an iron pin; thence South 87° 46' West, along the southerly line of said Tract A, 15.01 feet to a point; thence North 0° 09' West, 245.36 feet to a point in Grantor's northerly property line; thence North 80° 24' East, 15.21 feet to the place of beginning, containing 0.08 acre.

Tract B:

Beginning at a point, marked by an iron pin, said point being the Northeast corner of Lot #34 of VanAtta's Fourth Addition as recorded in Plat Book 8, pages 141 and 142 in the Licking County Recorder's Office; thence South 0° 12' 10" East 201.01 feet along the East line of said Lot #34 to the Southeast corner of Lot #34; thence North 89° 49' 50" East 0.85 feet to a point marked by an

324 Seller: Bethel Baptist Church, an Ohio Non Profit Corporation

Buyer: Pataskala Public Library

Page 2 of

EXHIBIT A

iron pin; thence North 87° 50' East 214.25 feet to a point marked by an iron pin; thence North 89° 09' 15" East 205.76 feet to a point 10 feet North of the Southwest corner of Robertson .972 acre tract in Vol. 666 page 690, Deed Records, Licking County, Ohio; thence North 0° 09' West along the West line of Robertson tract, 205.17 feet to a point marked by an iron pin; thence South 87° 46' West 390.21 feet to a point; thence South 89° 49' 50" West 30.85 feet to the place of beginning, containing 1.945 acres, more or less.

Tract C:

Beginning at a point in the Southeast corner of Lot #33 in VanAtta's Fourth Addition as recorded in Plat Book 8 pages 141 and 142, in the Licking County Recorder's Office; thence South 0° 11' 30" East 50 feet to a point, said point is North 89° 49' 50" East 30 feet from the Northeast corner of Lot #34 in said Fourth Addition; thence North 89° 49' 50" East 0.95 feet to a point; thence North 87° 46' East 390.21 feet to a point marked by an iron pin, said point is the northwest corner of the T.V. and Ruth E. Robertson tract in Vol. 666 page 690, Deed Records, Licking County, Ohio; thence North 87° 43' 30" East, and passing an iron pin at 172.69 feet, 197.00 feet along said Robertson tract, to a point in the centerline of Vine Street, said point is also the Northeast corner of said Robertson tract; thence North 0° 08' West 49.97 feet, along said centerline of Vine Street, to a point; thence South 87° 44' 30" West 24.51 feet to a point marked by an iron pin, said point being the Southeast corner of the Pataskala Library tract; thence South 87° 44' 30" West, 172.50 feet along the South line of said Library tract to a point marked by an iron pin, which point is the Southwest corner of said Library tract; thence South 87° 46' West 391.20 feet to the place of beginning, containing 0.675 acres, more or less.

SUBJECT to the following easements of record:

Tract A: Sewer easement to the Village of Pataskala dated March 14, 1967 and recorded in Vol. 617 pages 99 and 105, and water line to the Village of Pataskala dated May 19, 1969 and recorded in Vol. 660 page 454, Deed Records, Licking County, Ohio.

Tracts B & C: Sewer line easement to the Village of Pataskala dated March 14, 1967 and recorded in Vol. 617 page 99, Deed Records, Licking County, Ohio.

SUBJECT FURTHER TO all other leases, easements, rights of way, conditions and restrictions of record, if any; zoning, land use and governmental regulations.

For reference see Vol. 825 page 641, Deed Records, Licking County, Ohio.

Being part of the same premises conveyed by Warranty Deed from Linda L. Howes, married, to Bethel Baptist Church, dated December 8th, 1982, filed for record December 10th, 1982 and recorded in Vol. 830 page 129, Deed Records, Licking County, Ohio.

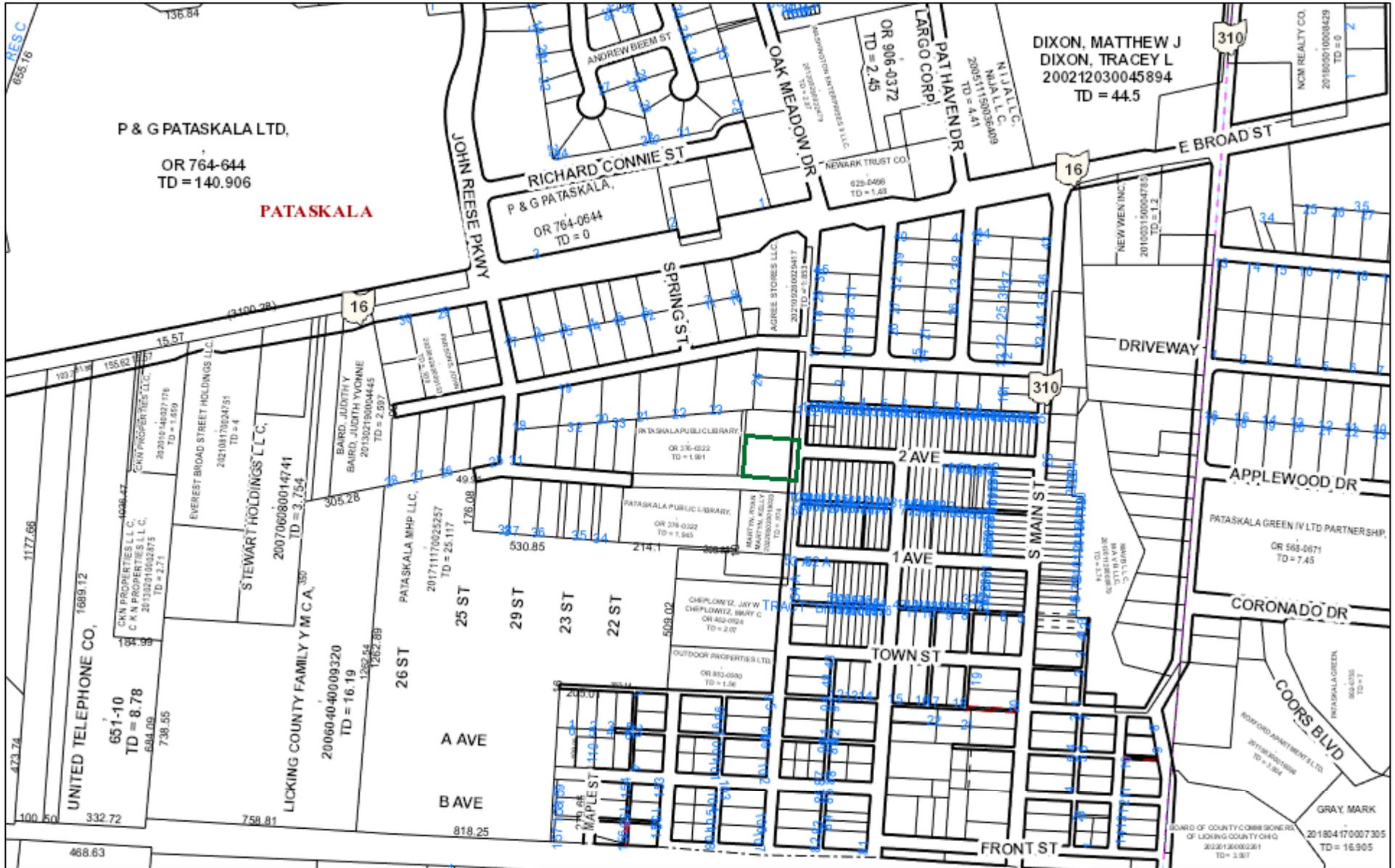
SEC. 319.202 COMPLIED WITH
GEORGE D. BUCHANAN, AUDITOR
BY [Signature] EKA

DESCRIPTION APPROVED
TIM LOLLO
LICKING COUNTY ENGINEER
TAX MAP
DRAWING NO. 57-45
APPROVED BY: [Signature]

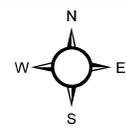
RECEIVED FOR RECORD
AND RECORDED
750944 24 1991
In Official Record
Vol. 326 Page 322
Licking County, Ohio
Robert S. Wingo
Recorder Fee 12.00

25117

Pataskala Public Library



November 4, 2022



LICKING COUNTY TAX MAP

Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY --		
Engineer's Pin	Owner	Auditor's PIN
01150574500000004000	N/A PATASKALA PUBLIC LIBRARY	064-307698-02.001
Tax Acreage	Deed Acreage	Official Record
.57	0	623-0379

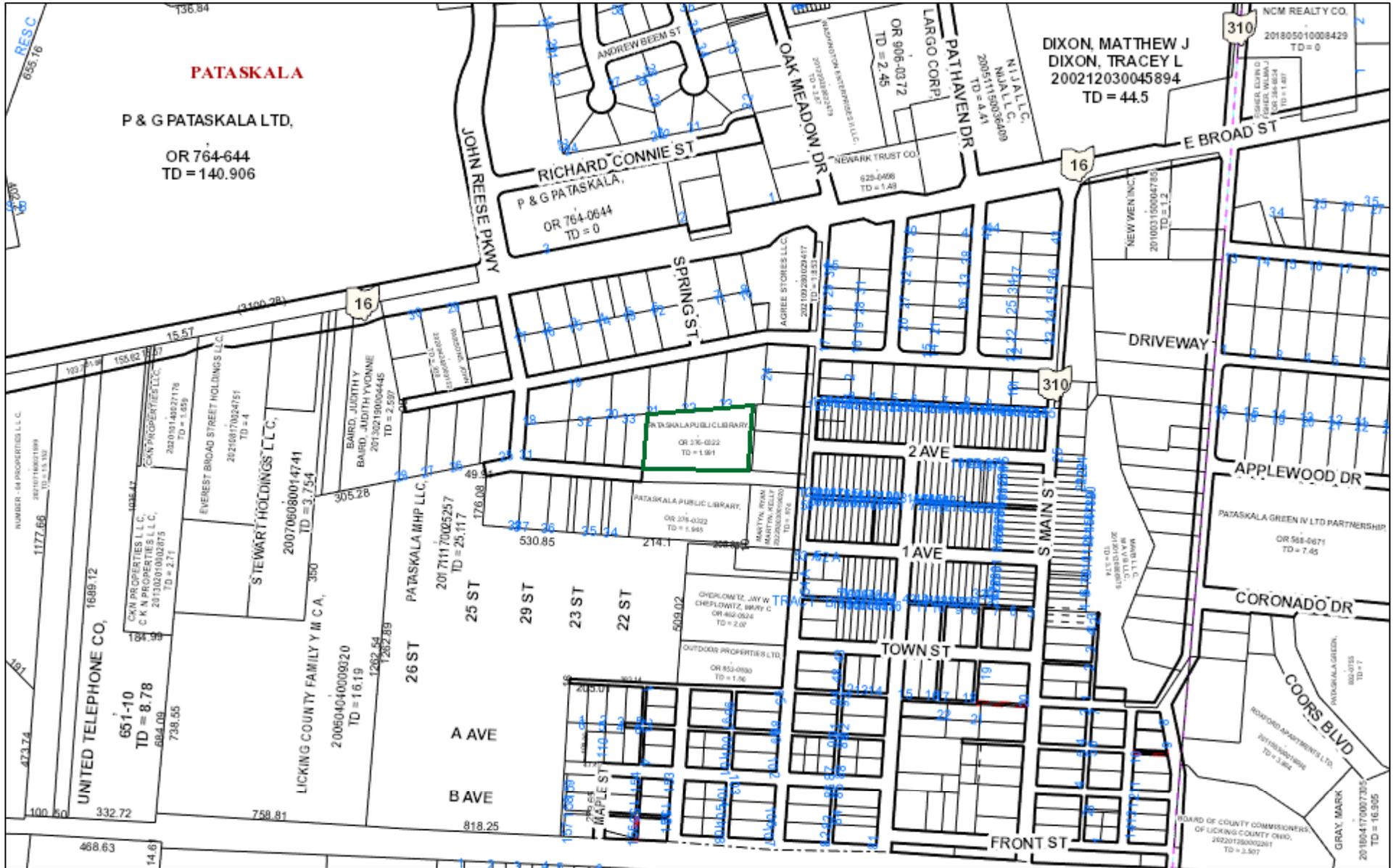
Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY --		
Engineer's Pin	Owner	Auditor's PIN
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Tax Acreage	Deed Acreage	Official Record
.478	0	756-0536

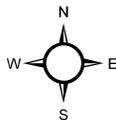
Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY --		
Engineer's Pin	Owner	Auditor's PIN
01150574500000002000	N/A PATASKALA PUBLIC LIBRARY	064-307698-02.001
Tax Acreage	Deed Acreage	Official Record
.08	0	044-0717

Pataskala Public Library #4



November 4, 2022

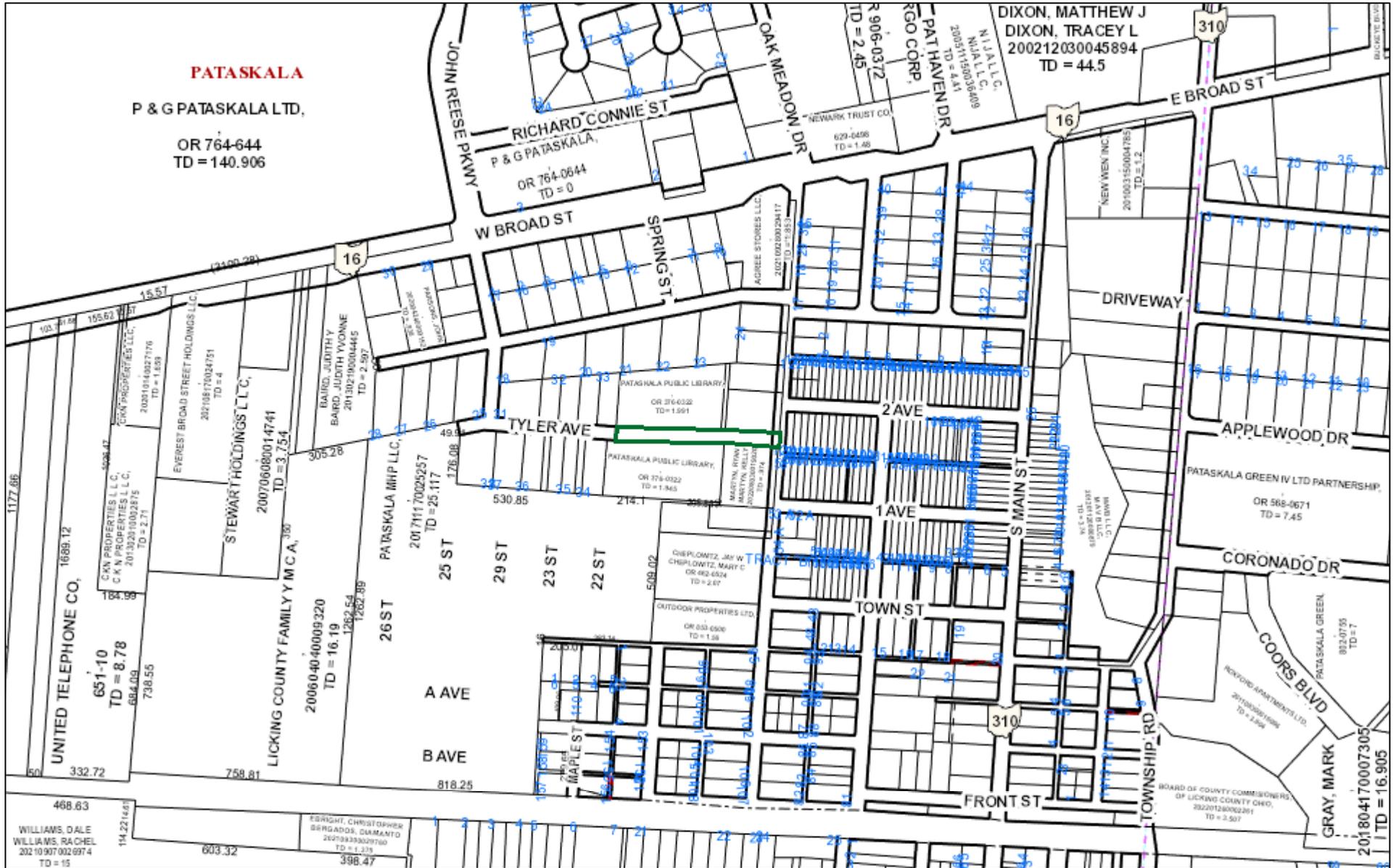


LICKING COUNTY TAX MAP

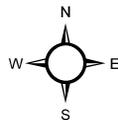
Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY -- TYLER AVE		
Engineer's Pin	Owner	Auditor's PIN
01150574500000001000	N/A PATASKALA PUBLIC LIBRARY	064-307698-01.000
Tax Acreage	Deed Acreage	Official Record
1.991	2.469	376-0322

Pataskala Public Library #5



November 4, 2022



LICKING COUNTY TAX MAP

Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY -- TYLER AVE		
Engineer's Pin	Owner	Auditor's PIN
01150574500000005000	N/A PATASKALA PUBLIC LIBRARY	064-311874-00.000
Tax Acreage	Deed Acreage	Official Record
.675	.675	376-0322

Property Report

Address		
N/A PATASKALA PUBLIC LIBRARY -- TYLER AVE		
Engineer's Pin	Owner	Auditor's PIN
01150574500000007000	N/A PATASKALA PUBLIC LIBRARY	064-307698-02.000
Tax Acreage	Deed Acreage	Official Record
1.945	0	376-0322