



## CITY OF PATASKALA BOARD OF ZONING APPEALS

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

### STAFF REPORT

May 8, 2018

#### Variance Application VA-18-009

<b>Applicant:</b>	Scott Mueller
<b>Owner:</b>	Scott Mueller
<b>Location:</b>	34 Klema Drive
<b>Acreage:</b>	2 acres
<b>Zoning:</b>	M-1 – Light Manufacturing
<b>Request:</b>	Requesting variances from Section 1283.07 of the Pataskala Code to deviate from the landscaping requirements and from Section 1291.13 of the Pataskala Code to waive the requirement for curbed interior landscaping.

#### Description of the Request:

The applicant is proposing to construct an approximately 11,000 square foot building adjacent to an existing building on the property. The applicant is seeking variances to waive the L2 landscaping requirement on the eastern property line and to waive the requirement for curbed landscaping in the new parking lot.

#### Staff Summary:

The property located at 34 Klema Drive contains an approximately 12,000 square foot building constructed in 2006, a 39-space parking lot and a dumpster and associated enclosure. The applicant is proposing to construct a 152-foot by 72-foot (10,944 square foot) building on the vacant part of the property. In addition to the building, the applicant would be installing a parking lot able to accommodate 24 additional parking spaces.

Pursuant to Section 1283.07, L2 landscaping is required along the eastern property line of the subject property. L2 landscaping is comprised of a three-foot-tall hedge row with a tree every 30 feet. The applicant is requesting this requirement be waived so that a swale may be installed along the eastern property line for stormwater management purposes.

Pursuant to Section 1291.13, curbed landscaped areas are required to be installed within parking lots containing more than 10 spaces. The applicant is requesting that the curbed interior landscaping requirement be waived so that stormwater can easily flow into the swale on the eastern side of the proposed parking lot.

A variance for this property was approved in 2005 to waive the L2 landscaping requirement along the property's frontage along Klema Drive and Cypress Street. In place of the L2 landscaping the property is

required to have a three (3) foot mound and a tree every 30 feet. The applicant has reflected this requirement on the site plan.

**Staff Review:** *The following review does not constitute recommendations but merely conclusions and suggestions from the summary.*

The City Engineer mentioned the need for a geotechnical study to ensure that the proposed swale will function as designed. The Planning and Zoning Department received a letter addressed to the applicant from the Ohio EPA indicating that a National Pollutant Discharge Elimination System (NPDES) permit has been issued for the project (attached). Based upon this, it would appear that the proposed swale will function as designed. A possible supplementary condition has been included below to address the stormwater concerns.

**Surrounding Area:**

Direction	Zoning	Land Use
North	M-1 – Light Manufacturing	Recycling Center
East	M-1 – Light Manufacturing	Metal Supplier
South	M-1 – Light Manufacturing	Marketer and Distributer
West	M-1 – Light Manufacturing	Dairy

**Variance Requirements:**

According to Section 1211.07(1) of the Pataskala Code, the Board of Zoning appeals shall consider the following factors when determining if an area variance is warranted:

- a) *Whether the property in question will yield a reasonable return or if there can be a beneficial use of the property;*
- b) *Whether there are unique physical circumstances or conditions that prohibit the property being developed in strict conformity with the zoning regulation such that a variance is necessary to enable the reasonable use of the property;*
- c) *Whether the variance requested is substantial;*
- d) *Whether the essential character of the neighborhood would be substantially altered or the adjoining properties would suffer a substantial detriment as a result of the variance;*
- e) *Whether the variance, if granted, will substantially or permanently impair the appropriate use or development of adjacent property;*
- f) *Whether the variance, if granted, will be detrimental to the public welfare;*
- g) *Whether the variance, if granted, would adversely affect the delivery of government services;*
- h) *Whether the property owner purchased the subject property with knowledge of the zoning restriction;*

- i) Whether the property owner's predicament can be obviated through some other method than variance;*
- j) Whether the variance, if granted, will represent the minimum variance that will afford relief and represent the least modification possible of the requirement at issue; and,*
- k) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.*

Furthermore, Section 1211.07(2) allows other factors to be considered, including comments from City staff, when determining if an area variance is warranted. The following factors from Section 1211.07(2) are applicable to Variance Application VA-18-009:

- None

**Department and Agency Review**

- Zoning Inspector – No comments
- Public Service – No comments
- City Engineer – See attached
- SWLCWSD– No comments
- Police Department – No comments
- West Licking Joint Fire District – No comments
- Licking Heights School District – No comments

**Supplementary Conditions:**

Should the Board choose to approve the applicant's request, the following supplementary conditions may be considered:

1. The applicant shall construct the building and associated improvements as submitted within one (1) year of the date of approval.
2. The applicant shall obtain all necessary permits from the City of Pataskala and the Licking County Building Department prior to construction of the building.
3. The proposed building and parking lot shall meet stormwater management requirements pursuant to Chapter 1119 of the Pataskala Code.

**Resolution:**

For your convenience, the following resolution may be considered by the Board of Zoning Appeals when making a motion:

"I move to approve variances from Section 1283.07 and Section 1291.13 of the Pataskala Code for variance application VA-18-009 ("with the following supplementary conditions" if conditions are to be placed on the approval)."

**From:** Scott Haines  
**To:** [Scott Fulton](#)  
**Cc:** [Alan Haines](#); [Jim Roberts](#); [Lisa Paxton](#)  
**Subject:** 5/8/2018 BZA Meeting  
**Date:** Sunday, April 29, 2018 7:46:19 PM

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Scott,

Jobes Henderson has reviewed the agenda items for the 5/8/2018 BZA Meeting. We offer the following comments:

VA-18-009

1. The applicate has indicated a bioretention cell will be constructed to handle the additional stormwater.
2. Prior to final approval of the bioretention cell, a geotechnical study will be required to verify adequate infiltration rates are achieved for proper design.
3. If the infiltration rates cannot be achieved there is a concern of where onsite detention with their proposed layout.

VA-18-010

We have no engineering related comments on this application.

VA-18-011

We have no engineering related comments on this application.

Thank you for the opportunity to review these items and please contact us if there are any questions on our comments or if we can help in any other way.

**Scott R. Haines, P.E., CPESC**

Project Manager

**HULL** | Newark, Ohio

Environment / Energy / Infrastructure

o: 740-344-5451 | f: 740-344-8659

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John R. Kasich, Governor  
Mary Taylor, Lt. Governor  
Craig W. Butler, Director

Apr 20, 2018

Scott S Mueller  
Scott Mueller  
1305 Jackson Hole Dr  
Blacklick, OH 43004

Re: Approval Under Ohio EPA National Pollutant Discharge Elimination System (NPDES) - Construction Site Stormwater General Permit - OHC000004

Dear Applicant,

Your NPDES Notice of Intent (NOI) application is approved for the following facility/site. Please use your Ohio EPA Facility Permit Number in all future correspondence.

<b>Facility Name:</b>	Mueller Office/Warehouse
<b>Facility Location:</b>	28 Klema Dr
<b>City:</b>	Pataskala
<b>County:</b>	Licking
<b>Township:</b>	
<b>Ohio EPA Facility Permit Number:</b>	4GC06288*AG
<b>Permit Effective Date:</b>	Apr 20, 2018

Please read and review the permit carefully. The permit contains requirements and prohibitions with which you must comply. Coverage under this permit will remain in effect until a renewal of the permit is issued by the Ohio EPA.

If more than one operator (defined in the permit) will be engaged at the site, each operator shall seek coverage under the general permit. Additional operator(s) shall submit a Co-Permittee NOI to be covered under this permit. There is no fee associated with the Co-Permittee NOI form.

Please be aware that this letter only authorizes discharges in accordance with the above referenced NPDES CGP. The placement to fill into regulated waters of the state may require a 401 Water Quality Certification and/or Isolated Wetlands Permit from Ohio EPA. Also, a Permit-To-Install (PTI) is required for the construction of sanitary or industrial wastewater collection, conveyance, storage, treatment, or disposal facility; unless a specific exemption by rule exists. Failure to obtain the required permits in advance is a violation of Ohio Revised Code 6111 and potentially subjects you to enforcement and civil penalties.

To view your electronic submissions and permits please Logon in to the Ohio EPA's eBusiness Center at <http://ebiz.epa.ohio.gov>.

If you need assistance or have questions please call (614) 644-2001 and ask for Construction Site Stormwater General Permit support or visit our website at <http://www.epa.ohio.gov>.

Sincerely,

A handwritten signature in black ink that reads "Craig W. Butler". The signature is written in a cursive style.

Craig W. Butler  
Director



# CITY OF PATASKALA BOARD OF ZONING APPEALS

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

## VARIANCE APPLICATION

(Pataskala Codified Ordinances Chapter 1211)

Property Information	
Address: 34 Klena Drive	
Parcel Number: 63-140430-00-014	
Zoning: M-1	Acres: 2
Water Supply:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input type="checkbox"/> On Site
Wastewater Treatment:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input type="checkbox"/> On Site

Staff Use
Application Number: VA-18-009
Fee: \$ 300
Filing Date: 4-2-18
Hearing Date: 5-8-18
Receipt Number: 20877

Applicant Information		
Name: Scott Mueller		
Address: 768 Poppy Hills DR		
City: Blacklick	State: OH	Zip: 43004
Phone: 614-561-5788	Email: skyhound50@gmail	

Documents
<input checked="" type="checkbox"/> Application
<input checked="" type="checkbox"/> Fee
<input checked="" type="checkbox"/> Narrative
<input type="checkbox"/> Site Plan
<input checked="" type="checkbox"/> Deed
<input checked="" type="checkbox"/> Address List
<input type="checkbox"/> Area Map

Owner Information		
Name: Same		
Address:		
City:	State:	Zip:
Phone:	Email:	

Variance Information
Request (Include Section of Code): 1283.07(B) - L2 Landscaping on east property line. 1291.13 Interior parking lot landscaping
Describe the Project: Adding a pole barn to existing property due to parking lot (new) area water runoff must meet EPA REG reducing area for planting

## Documents to Submit

**Variance Application:** Submit 1 copy of the variance application.

**Narrative Statement:** Submit 1 copy of a narrative statement explaining the following:

- The reason the variance is necessary
- The specific reasons why the variance is justified as it pertains to Section 1211.07 of the Pataskala Code:
  - a) *Whether the property in question will yield a reasonable return or if there can be a beneficial use of the property without the variance;*
  - b) *Whether there are unique physical circumstances or conditions that prohibit the property from being developed in strict conformity with the zoning regulation such that a variance is necessary to enable the reasonable use of the property;*
  - c) *Whether the variance requested is substantial;*
  - d) *Whether the essential character of the neighborhood would be substantially altered or adjoining properties would suffer a substantial detriment as a result of the variance;*
  - e) *Whether the variance, if granted, will substantially or permanently impair the appropriate use or development of adjacent property;*
  - f) *Whether the variance, if granted, will be detrimental to the public welfare;*
  - g) *Whether the variance, if granted, would adversely affect the delivery of governmental services;*
  - h) *Whether the property owner purchased the subject property with knowledge of the zoning restriction;*
  - i) *Whether the property owner's predicament can be obviated through some other method than variance;*
  - j) *Whether the variance, if granted, will represent the minimum variance that will afford relief and represent the least modification possible of the requirement at issue; and,*
  - k) *Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.*

**Site Plan:** Submit 1 copy of a site plan to scale of the subject property indicating the following:

- All property lines and dimensions
- All existing and proposed buildings and structures.
- Setbacks from property lines for all existing and proposed buildings, structures and additions
- Easements and rights-of-way
- Driveways
- Floodplain areas
- Location of existing wells and septic/aerator systems.
- Any other information deemed necessary for the variance request

**Deed:** Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at [www.lcounty.com/rec](http://www.lcounty.com/rec).

**Address List:** Submit 1 copy of a list of all property owners and addresses of those owning property within 200 feet or two parcels from any point on the subject property line, whichever creates more property owners. This list must be in accordance with the Licking County Auditor's current tax list and must be submitted on mailing labels.

**Area Map:** Submit 1 copy of an area map from the Licking County Engineer's office showing the area encompassed by the address list. Area maps can be obtained at [www.lcounty.com/taxparcelviewer/default](http://www.lcounty.com/taxparcelviewer/default).

## Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this variance request.

Applicant:



Date:

4-13-18

Owner:



Date:

4-13-18

Variance Application for:  
Scott Mueller  
768 Poppy Hills Dr.  
Blacklick, Ohio 43004  
Cell 614.561.5788

Property owner: of Parcel 063-140430-00.014  
28-34 Klema Dr W. Pataskala, Ohio 43068  
Taylor Road Commercial Park

I have owned this property since 2010. One of the reasons I purchased the property was it had an acre to develop for future growth. The original registered approved drawings for the first building completed in 2006 revealed another future building on the plot plan. As we all remember the bubble hit hard stopping most construction during this time.

When I purchased the building I was unaware of any requirements to put trees on this property especially since there were few other properties on Cypress rd. or Klema Dr. that adhered to any type planting requirements. After purchasing the property I saw that an attempt had been made to grow some trees on the street side but to no real success after 5 years of growth. They were all deciduous trees but all but one had dead. My wife and I felt the property would look good with trees on it so we replaced most of the dead trees with 7' Blue Spruce trees and new deciduous trees at the ends, (see color photo) I noticed the neighbor to the west also attempted to plant a few pines as well although they are all nearly dead.

We had every intention on continuing the trees on the main drive side (south side Cypress) drive such as those we have replaced on our property even before we found that there was a requirement to do so, However, due to the more recent EPA regulations regarding clean storm water plan which leaves little room for any additional planting on the East and North side of the property. (Section 1283.07 We wish to avoid any additional planting on the property other than planting flowers seasonally at the sides to our front door planting. (Section 1291.13)

We also wish to avoid any on property curbing that will prevent the natural flow of the rain water onto the grass, again part of the natural Eco filtering of the rain water before entering the storm drains.

Please see supporting photos of surrounding properties.

In closing I hope that the committee can see that we take pride in our property and that in keeping with what has already been planted and what we propose to do will certainly surpass 90% of the properties in the commerce park.

From: **Scott Mueller** skyhound50@gmail.com  
Subject:  
Date: December 27, 2017 at 8:07 PM  
To: skyhound50@icloud.com  
Bcc: skyhound50@gmail.com



Michael L. Smith, Auditor  
Nivia C. Parkinson, Treasurer

BOR CAUV



Taxes Due February 21st

Michael L. Smith, Auditor

Olivia C. Parkinson, Treasurer

12/01/2017 < 1 of 6 > Select Date ▾

-  Home
-  Map
-  Layers
-  Home
-  Downloads
-  Forms
-  GIS
-  Dog License
-  CAUV
-  BOR





Imagery ©2017 DigitalGlobe, State of Ohio / OSIP, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2017 Google 50 ft



# Google Maps 145 Cypress St SW

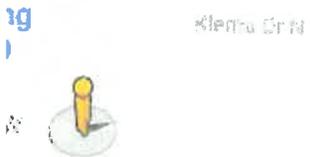


Image capture: May 2012 © 2017 Google

Pataskala, Ohio



Street View - May 2012



# Google Maps Cypress St SW



Image capture: May 2012 © 2017 Google

Pataskala, Ohio



Street View - May 2012



Map Data



Google Maps 99 Klema Dr N



Image capture: May 2012 © 2017 Google

Pataskala, Ohio



Street View - May 2012



*KLEMA DR LOOKING  
SOUTH EAST AT  
PRESENT BUILDING*

Google Maps Cypress St SW



Image capture: May 2012 © 2017 Google

Pataskala, Ohio



Street View - May 2012

CYPRESS

Looking NORTH EAST to  
LOT FOR POLE BARN

19

Klema Drive



Google Maps Cypress St SW



Image capture: May 2012 © 2017 Google

Pataskala, Ohio



Google, Inc.

Street View - May 2012

19

Klenza Dr N



DESCRIPTION APPROVED  
TIM LOLLO  
LICKING COUNTY ENGINEER  
APPROVED BY  
*Tim Lollo* 9-23-10

201009240018929  
Page: 3 \$95.00 T20100018823  
09/24/2010 2:41PM BXTALON BOX  
Bryan A. Long  
Licking County Recorder

01150553914128005000

SEC.319.202 COMPLIED WITH  
J. TERRY EVANS, AUDITOR  
BY \$ 1000.00

TRANSFERRED  
Date September 24 2010  
*J. Terry Evans*  
Licking County Auditor

Order Number: 1690992

Talon Title - W

## GENERAL WARRANTY DEED

Cypress Street, Ltd., an Ohio Limited Liability Company, for valuable consideration paid, grants, with general warranty covenants to **Scott S. Mueller and Donna D. Mueller, Husband and Wife,**

whose tax mailing address is 1305 Jackson Hole Drive, Blacklick, OH 43004

the following real property:

"See Exhibit "A" attached hereto and made a part hereof...."

Parcel Number: 063-140430-00.014

Property Address: 34 Klema Drive, Reynoldsburg, Ohio 43068

Subject to taxes and assessments which are now or may hereafter become liens on said premises and except conditions and restrictions and easements, if any, contained in former instruments of record for said premises, subject to all of which this conveyance is made.

Prior Instrument Reference: Instrument No. 200204180014786, Recorder's Office, Licking County, Ohio.

*NEW ADDRESS*

*Scott & Donna Mueller  
768 Poppy Hills Dr  
BLACKLICK, OHIO 43004*

Witness its hand this 21<sup>st</sup> day of September, 2010.

Cypress Street, Ltd, an Ohio Limited Liability Company

BY: [Signature]  
Gary C. Beckmann  
Its: Member

BY: [Signature]  
Mark V. Schillig  
Its: Member

State of Ohio  
County of Franklin ss:

Be It Remembered, that on this 21<sup>st</sup> day of September, 2010, before me, the subscriber, a Notary Public in and for said State, personally appeared the above named Cypress Street, Ltd., an Ohio Limited Liability Company, by Gary C. Beckmann, its Member and by Mark V. Schillig, its Member, the grantors in the foregoing deed and acknowledged the signing thereof to be their voluntary act and deed, and the voluntary act and deed of said company.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.



JEFFREY A. AUKER, ATTORNEY AT LAW  
NOTARY PUBLIC, STATE OF OHIO  
My commission has no expiration date.  
Section 147.03 R.C.

[Signature]  
Notary Public

This instrument prepared by Magnuson & Barone Attorneys at Law  
570 Polaris Parkway, Suite 140, Westerville, OH 43082

## **EXHIBIT 'A'**

1690992-NE

### **LEGAL DESCRIPTION**

Situated in the City of Pataskala, County of Licking, State of Ohio, and is described as follows:

Being Lot Number Eighteen (18) of TAYLOR ROAD COMMERCIAL PARK SECTION 2, as the same are numbered and delineated upon the recorded plat thereof, of record in Plat Book 14, pages 128-129, Recorder's Office, Licking County, Ohio.

For informational Purposes only:

Property Address: 34 Klema Drive Reynoldsburg, Ohio 43068

Parcel No.:063-140430-00.014

**GENERAL NOTES**

**Specifications** - The City of Columbus *Construction and Material Specifications*, (current version 2012) (CSMC) including supplement 1100 and all supplemental specifications thereto, shall govern all construction items that are a part of this plan unless otherwise noted.

**Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.**

**Safety** - The Contractor and Sub-Contractors shall be solely responsible for complying with all Federal, State and Local safety requirements and exercise precautions at all times to protect person (including employees) and property. It is the sole responsibility of the Contractor and Sub-Contractors to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work.

**Benchmarks** - The Contractor shall carefully preserve Benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In the case of willful or careless destruction, the Contractor shall be responsible for restorations. The re-setting of markers shall be performed by an Ohio Professional Surveyor as approved by the Engineer.

**Permits** - The Contractor shall obtain all necessary permits. An original permit, with red signatures, shall be kept onsite at all times. Permits required for site work include a *Notice of Intent* from the OEPA and a *Right of Way Permit* from the City of Pataskala. Other permits may be required.

**Utility Coordination** - The identity and location of existing underground utilities in and around the construction area have been shown and labeled on the plans by using information provided by the respective utility owners. The City of Pataskala or the Consulting Engineer will not assume responsibility for the accuracy of location or depth of existing underground utilities as shown on the plans.

Support and protection of all utilities and appurtenances shall be the responsibility of the Contractor. Costs for repair and restoration of existing utilities damaged by the Contractor shall be the responsibility of the Contractor.

Prior to excavation, the Contractor shall give a 48 hour notice to the *Ohio Utilities Protection Service (OUPS)* by calling (800)362-2764. A 48 hour notice shall be given to the owners of the underground utilities shown on the plans who are not members of a registered underground protection service.

Listed below are the utility companies that have facilities located within the work limits of the project and subscribe to OUPS:

Time Warner Cable	877-772-2253
AT&T	800-660-1000
AEP	800-672-2231

**Construction Notes** - Immediately after placement of any conduits, the Contractor shall construct the end treatments required by the plans at both the outlet and inlet ends of the pipe. This shall include all headwalls, concrete, rip rap, rock channel protection, sodding, pouring bottoms, mudding lift holes, etc.

**Erosion and sediment control measures** are required as part of this project. Erosion and Sediment Control measures specific to this site may be found in these plans.

Land-disturbing activities must comply with all provisions of the Division of Sewerage and Drainage *Erosion And Sediment Control Regulation*. All land-disturbing activities shall be subject to inspection and site investigation by the City of Pataskala and/or the Ohio EPA. Failure to comply with these regulations may result in legal enforcement action against the Owner and/or the Contractor.

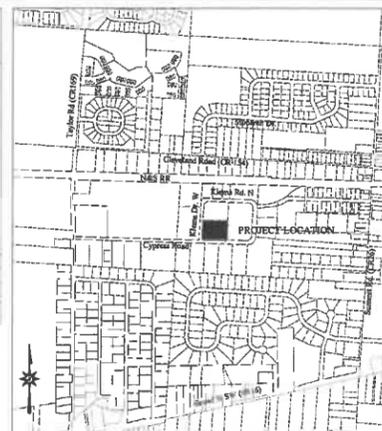
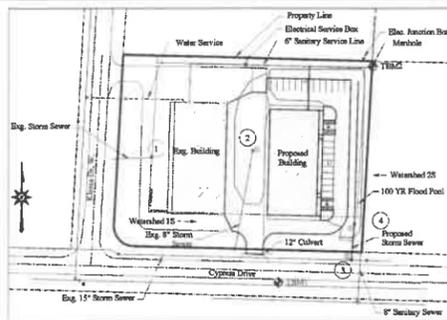
It is the responsibility of the Owner and Contractor to notify the City of Pataskala *2 working days* prior to commencement of initial site land disturbance on any site of one or more acres. This includes site clearing, grubbing and earth moving. Primary erosion and sediment control practices are mandated by regulation to be in place from the beginning of the construction activity.

**Construction Inspection** - is required for all work in the *Right-of-way of public streets*. Contact the City of Pataskala minimum of *two working days* before commencing work on Catch Basin 3 and pipe within the R/W.

**Contact for the City of Pataskala**

Alan B. Haines, PE  
Public Service Director  
City of Pataskala  
621 W. Broad St., Suite 2B  
Pataskala, Ohio 43062  
Office: 740-927-0145  
Cell: 614-746-5365

**Easement Required** - A *Permanent Access Easement* is required to be granted to the City of Pataskala to permit access to the stormwater facilities for inspection by the City and remedial maintenance if necessary.



**POST CONSTRUCTION MAINTENANCE AND INSPECTION**

INSPECTION	MAINTENANCE PROCEDURE	FREQUENCY
Catch Basins	Clean Catch Basins of debris and sediment	Monthly + After rain > 0.5" / Monthly + After rain > 0.5"
Office Plates	Remove debris that may clog Offices	Monthly + After rain > 0.5" / Monthly + After rain > 0.5"
Bioretention Cell	Inspect Bioretention Cell for damage and repair as needed. Remove media that becomes clogged with sediment and replace with new media. Seed fertilizer and mow as needed.	Monthly + After rain > 0.5" / Monthly + After rain > 0.5"

The Property Owner, its administrators, executors, successors, heirs, or assigns shall maintain the stormwater control facility or facilities in good working condition acceptable to the City and in accordance with the schedule of long term maintenance activities in the stormwater control facility maintenance plan.

The property owner shall maintain a *Maintenance Inspection Log* with dated and signed inspection Checklists. The Checklists will show the date and type of maintenance performed to remedy deficiencies observed in prior inspections.

The *Maintenance Inspection Log* shall be kept on the property and submitted to the City upon request. Maintenance procedures are specified in Section 4.1.3 of the *Stormwater Drainage Manual* (August 2012).

**SUMMARY OF POST CONSTRUCTION STORMWATER CONTROL FACILITIES**

Control/Outlet Structure No. (As referenced on the Plans)	Control Function	Description	Drainage Area to Control Facility (Ac.)	Facility Type
2	Flood Control	Restricts release of stormwater to required flows	0.70	Orifice Plate/Catch Basin
4	Flood Control	Restricts release of stormwater to required flows	0.74	Orifice Plate/Catch Basin
4	Pollution Control	Filters WQv through a biofilter soil bed	0.74	Bioretention Basin

**100 YEAR DETENTION BASIN TABLE**

Description	Volume Required (cfs)	Volume Provided (cfs)	Elevation (ft)
CB2	2,112	2,112	1093.09
CB4	8,869	8,869	1092.57

**BMP WATER QUANTITY STRUCTURE NOTICE**

The Water Quantity Structures 2 and 4 are Stormwater Quantity BMPs and are an integral part of the private storm sewer system shown on these drawings. The Owner is responsible for maintenance, repair and the continuous function of these stormwater quality structures in perpetuity beginning at the time of installation and transferring to all future Owners of the property that contains the said private storm sewer system.

**PARKING REQUIREMENTS**

Proposed Building	10,944 SF	10,944 SF	Rate	Parking Required (Spaces)	Provided (Spaces)
Warehouse	2,083 (SF)	863 (SF)	750 (SF/Space)	2.78	
Tenet Space One			400	2.16	
Tenet Space Two	3,058	943	400	2.36	
Tenet Space Three	3,128		750	4.17	
Sum Proposed Building	8,269	868	400	2.17	
		2,674	400	6.69	19
Existing Building	12,000		700	12.95	21
Sum Existing Building	9,067		400	7.33	33
Total Site Parking		2,932			40

**LOCATION MAP**

Licking County GIS Data Map (1" = 500')

**ZONING:** M-1 Light Manufacturing  
**PROJECT DESCRIPTION:** Plans for the site grading, erosion control, and post construction water quality for a new building.

**OWNER:** Scott S. and Donna D. Miller  
1305 Jackson Hole Dr.  
Blacklick, Ohio 43004

**CONTACT:** Scott S. Mueller  
(614)561-5788

**ENGINEER:** Casey C. Elliott, PE, PS  
212 West High St.  
London, Ohio 43140  
(740)852-1300

**PLANS - Ownership, Approval and Liability**

The site plans and design information for this project are the property of the Engineer. Any change in the sealed plans without the approval of the Engineer will remove all liability for execution of this project from the Engineer. If the plans or the design are altered without the approval of the Engineer, no part of the plans will be considered sealed or approved by the Engineer.

These plans may not be used for any other Project at this site or any other site without the written consent of the Engineer.

The Engineer will incur no liability for these plans until the plans have been reviewed and approved by the reviewing agencies.

**BENCHMARKS:** Vertical Datum is NAVD88. Horizontal control based on State Plane Coordinates Ohio South (NAD83 2011).

**TBM1:** Top of NW bolt on lower flange of Fire Hydrant on south side of Cypress Drive across from driveway to site. Elevation 1090.31

**TBM2:** Top West Rim of Sanitary Manhole - Located in an easement at the northeast corner of the property. Elevation 1093.38.

**Basis of Bearings:** Centerline of Cypress Drive S88°29'40"E.

**INDEX TO SITE DRAWINGS**

SHEET	Title
1	COVER SHEET
2	SITE PLANS LAYOUT FOR PRIVATE STORM SEWER
3	STORMWATER POLLUTION PREVENTION PLAN
4	PROFILE and DETAILS

**STANDARD DRAWINGS USED**

Title	Index Number	Title	Index Number
AA-S13A STANDARD CATCH BASIN	AA-S150	TRENCH INST., MAX. WIDTH	
AA-S144 HEAVY DUTY GRATE AND FRAME			
AA-S145 OUTLET CONTROL ORIFICE PLATE			
AA-S149 TYPE I BEDDING FLEXIBLE SEWERS			



**APPROVAL CITY OF PATASKALA:**

The signature below signify concurrence with the general purposes and general location of the Project. All technical details remain the responsibility of the Engineer preparing the plans. Approval for Stormwater only.

Alan W. Haines, PE  
Public Services Director, City of Pataskala

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OFFICE/WAREHOUSE BUILDING  
Scott S. Mueller  
26 Kiama Drive  
Pataskala, Ohio



Casey C. Elliott  
Casey C. Elliott, PE, PS

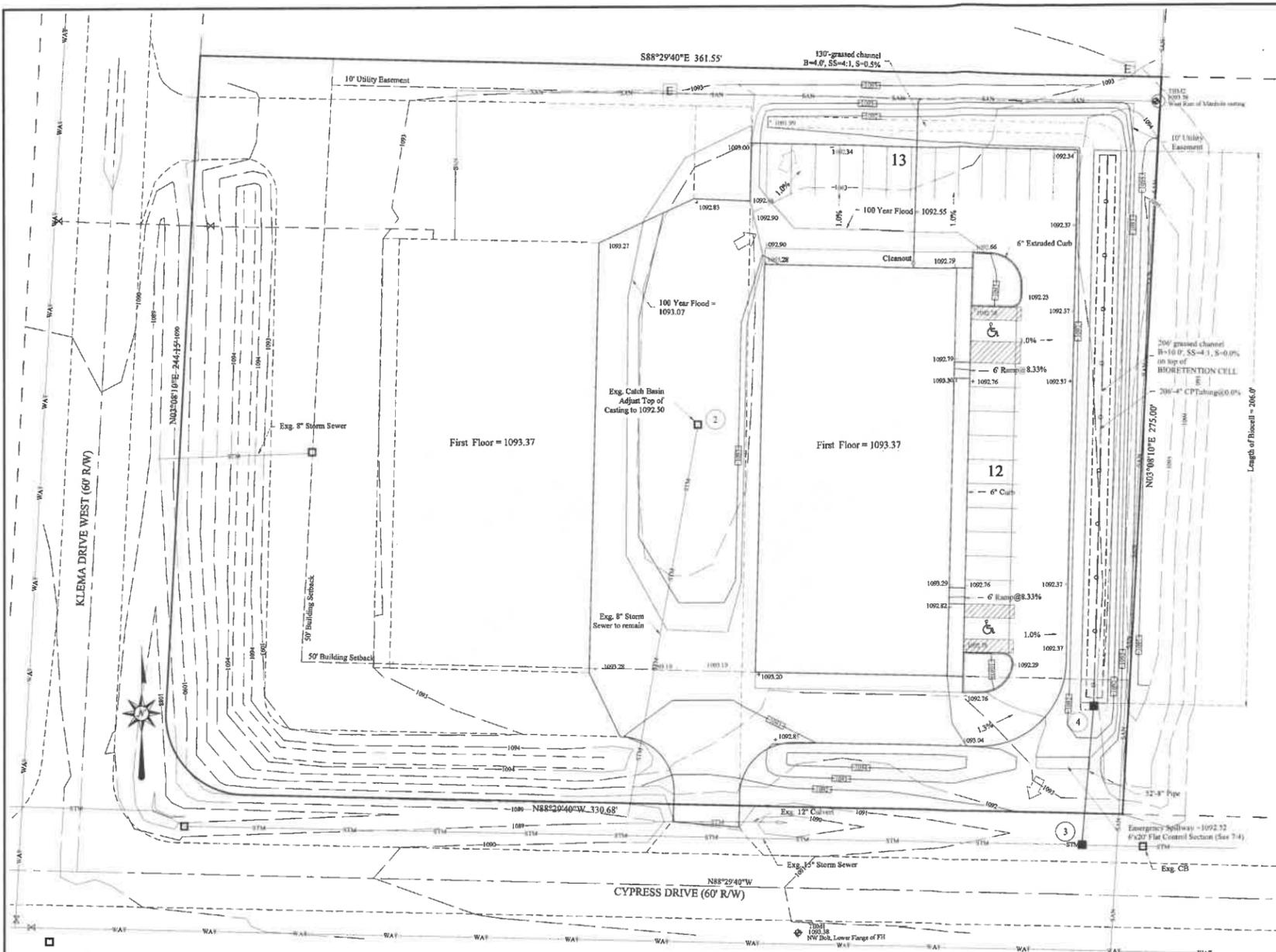
Date: 08/28/2017  
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Drawn	Checked	Reviewed

**REVISIONS**

Rev. No.	Description

Job Number: 17143  
COVER  
STORMWATER PLAN



0' 20' 40'  
SCALE IN FEET  
1" = 40'

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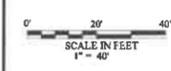
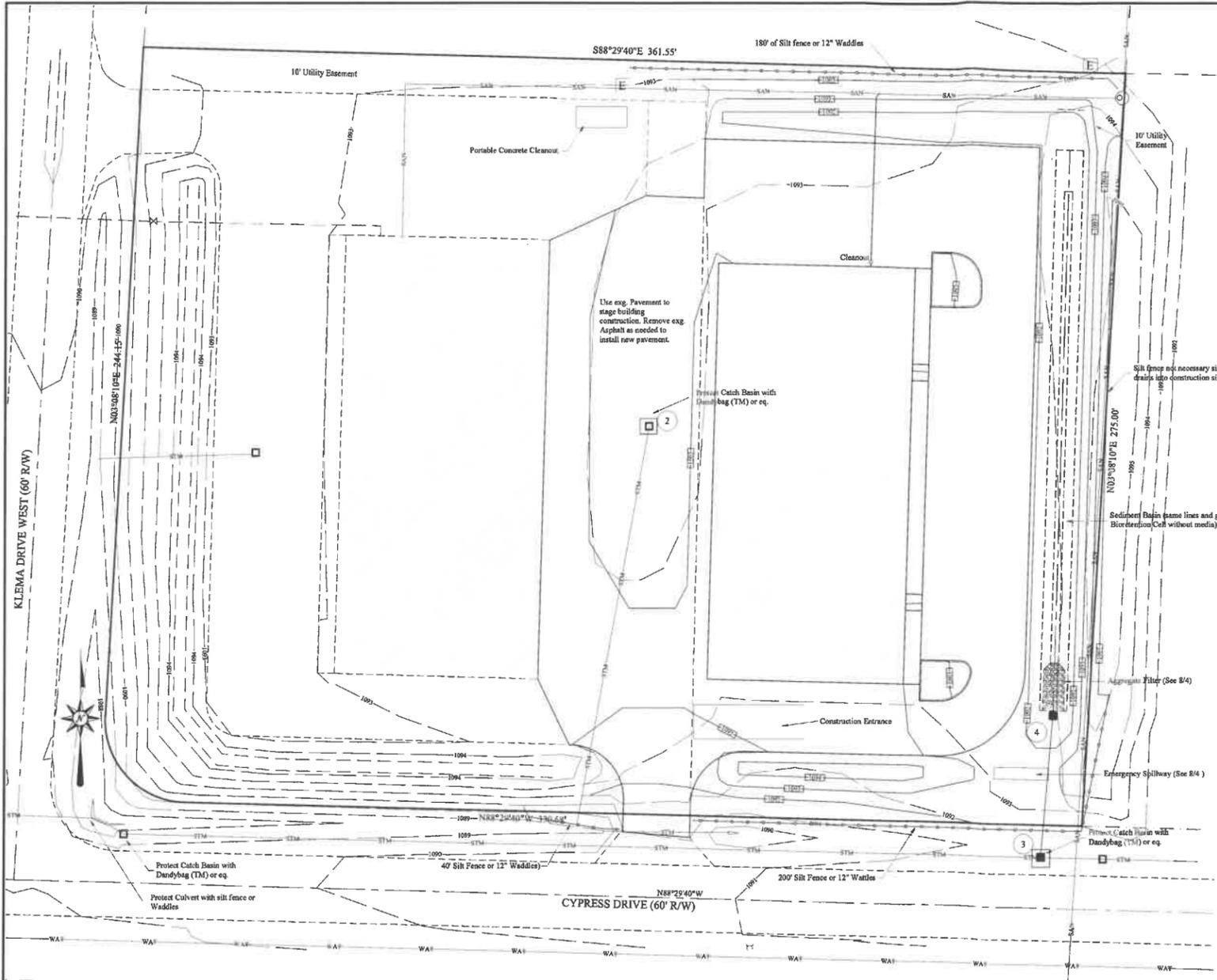


Casey C. Elliott  
Casey C. Elliott, P.E., P.S.

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REVISIONS	
Rev. No.	Description

Job Number: 17143  
LAYOUT  
SITE PLAN  
2/4



**STORMWATER POLLUTION PREVENTION PLAN**

**OWNER:** Scott S. and Donna D. Miller  
1305 Jackson Hole Dr.  
Blacklick, Ohio 43004

**CONTACT:** Scott S. Mueller  
(614)561-5788

**ENGINEER:** Casey C. Elliott, PE, PS  
212 West High St.  
London, Ohio 43140  
(740)852-1300

This Erosion Control Plan has been prepared in compliance with provisions of the Federal Water Pollution Control Act (33 USC 1251 et. Seq.) and the Ohio Water Pollution Control Act (ORC 6111). This plan is covered by NPDES Permit OHC0000004. The Developer shall file a Notice of Intent at least 21 days prior to commencing earth-moving activities.

**DESCRIPTION OF ACTIVITY:** The construction activity consists of erecting a new office/warehouse building with associated site construction.

**DEVELOPMENT:** 0.79 acres disturbed out of a 2.277 acre property to construct a building and parking lot.

**SITE INFORMATION:** Disturbed Area: 0.79 acres SLOPE: 0 to 4 percent  
Total area in property = 2.277 acres  
Disturbed area/property area = 0.79/2.277 = 35%

**STORMWATER MANAGEMENT:** City of Columbus Stormwater Regulations. (Columbus, Ohio).

**IMPERVIOUS AREA CREATED:** 0.44 acres.

**WITHIN THE PLANNED CONSTRUCTION SITE**

**EXG. COVER:** grass, pavement, building **PROPOSED COVER:** grass, pavement, building  
Preconstruction CN = 88.9 Post construction CN = 96 over 0.74 acres

**SOILS:** Disturbed Urban land complex

**RECEIVING STREAM:** The site drains to the west into an unnamed tributary of Blacklick Creek (Hydrologic Unit 030600011503).

The CONTRACTOR is required to maintain a copy of the NPDES Permit, specification packet, plans, and the hydraulic and hydrologic design packet at the construction site.

**INSTREAM ACTIVITIES:** None.

**CONSTRUCTION DATES:** Beginning of construction - October 2017. End Construction - May 2018

**SPECIFICATIONS:** Installation and materials shall be defined by:

1. City of Columbus Material and Construction Specifications (2012) or latest edition, additions and revisions,
2. Rainwater and Land Development, 2nd Edition, (ODNR, 12/2006) or latest edition
3. Construction Documents

**NOTE:** Where specifications conflict, the erosion control inspector or the Engineer shall determine which specification to use. The construction documents were prepared using COC Specifications.

**PRACTICES (from Rainwater and Land Development):**

Silt Fence, Permanent Seeding, Mulching, Detention Basin, Construction Entrance, Concrete Cleanout

The times when seeding and mulching are required are listed in OEPA General Permit OHC000004 under Part II.B Table 1 and Table 2.

The pumping or direct discharge of sediment laden water to the City's sewer system or a receiving stream is a violation of OEPA and the City's regulations.

All inlets receiving flow from runoff, pumping activities, or other direct discharges shall be fitted with an inlet protection device that is properly sized and secured to reduce the discharge of sediment into the storm sewer system and receiving stream. Inlet protection is required on all inlets receiving discharge regardless of whether the inlet is tributary to any downstream erosion and/or sediment controls.

Discharge hoses used during pumping activities shall be fitted with sediment bags that are properly sized per manufacturer's recommendations regardless of any other sediment control practices that are in place further downstream. Sediment bags shall be secured to the discharge hose and placed over vegetated areas, where feasible during discharge.

The Contractor will clean streets a minimum of once per day of all mud and debris or as directed by the erosion control inspector.

**MAINTENANCE:** All erosion control Practices shall be inspected once per week and immediately after any rainfall/runoff event. Repairs shall be made within three working days and maintenance problems that are considered critical to the Engineer, Erosion Control Inspector for the City of Columbus (by request) or the OEPA shall be repaired within 24 hours.

**CONSTRUCTION SEQUENCE:**

- (1) Submit the NOI to OEPA.
- (2) Notify the City of Pataskala at least 48 hours before construction is to start.
- (3) Install silt fence or straw wattles as needed and as shown before each step of construction. Maintain as needed.
- (4) Install the storm sewer and catch basins. Protect the storm sewers from sediment.
- (5) Install the construction entrance and the concrete truck cleanout sump. The use of a portable concrete cleanout sump is desired. Cleanout is to be used only in an emergency. Streets are to be cleaned daily of all sediment and more frequently as necessary to protect the existing storm sewer system.
- (6) Install the sediment basin to the lines and grades specified for the Bioretention cell excavation.
- (7) Excavate and install the building foundation and proceed with building construction staging construction on the existing pavement.
- (8) Rough grade the proposed paved areas of the site to the lines and grades shown. Interim grade of the rough grading should be 8" low to provide for aggregate and pavement.
- (9) Install parking lot aggregate.
- (10) Pave the parking lot.
- (11) Place topsoil to the lines and grades shown on the plans, seed and mulch all areas to be seeded. Sod is encouraged.
- (12) Remove the sediment and aggregate from the sediment basin. Install the Bioretention cell. Protect the cell from sediment while grass is established.
- (13) After the work is complete, schedule a final inspection, resolve all shortcomings and submit the Notice of Termination to the OEPA.

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION BY THE ENGINEER, THE CITY OF COLUMBUS, AND THE OHIO EPA.

This SWPP Plan must be posted on site.

A copy of this SWPP Plan and the approved Ohio EPA Stormwater Permit (with the site-specific NOI Number) shall be kept on site and made available to the Engineer, the City Inspectors, and the OEPA at all times.

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Pataskala, Ohio



Casey C. Elliott  
Casey C. Elliott, PE, PS  
Date: 08/28/2017

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Drawn: CCE

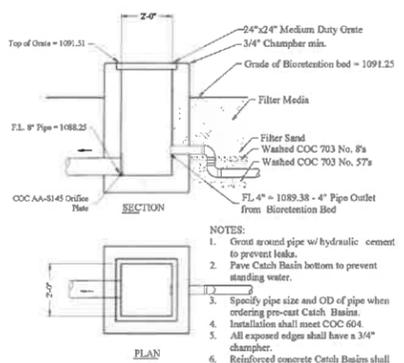
REVIEWS	DATE

REVISIONS

Rev. No. Date/Description

Job Number: 17143

EROSION CONTROL SWPP PLAN

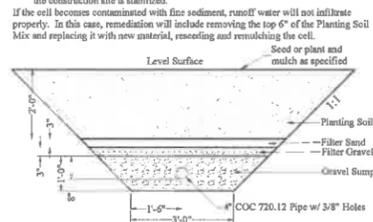


**1 BIORETENTION Structure C704**  
3/8\"/>

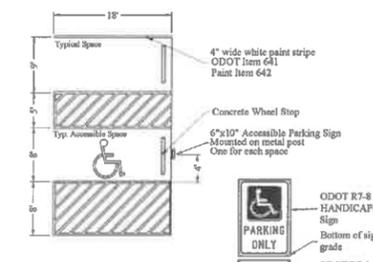
**CONSTRUCTION NOTES for BIORETENTION CELLS SPECIFICATIONS**  
 Planting Soil: Planting soil shall be loamy sand with at least 70% sand and less than 10% clay in the mineral fraction of the soil. In addition:  
 • pH shall be within 5.2 to 6.0.  
 • Soluble salts shall be less than 500 ppm.  
 • Decomposed organic matter 3-5% by weight (8-20% by volume)  
 • Phosphorus: 15 to 60 mg/kg (Mehlich III test)  
 • Seed shall meet AASHTO M-4 or ASTM C33 with a sand grain size distribution of 0.075 to 0.04\"/>

**PROPOSED PLANTING SOIL MIX**  
 Planting Soil: A mix that should meet the criteria:  
 • 7.5 parts clean sand with <1% passing a No. 200 sieve  
 • 1.5 parts fine soil (loam, silt loam, or clay loam texture required)  
 • 1.0 parts Organic Matter (leaf compost, pine bark fines, mulch fines)  
 Test phosphorus content before mixing. Supplier shall submit documentation that media meets the required criteria.

- CONSTRUCTION SEQUENCE**
1. Excavate the Bioretention cell to the next lines. Remove all sediment, rocks and debris. Scarify the soil surface to a depth of 2\"/>
  - 2. Place gravel for the gravel ramp leaving room for the drain pipes.
  - 3. Place the drain pipe to a level grade and attach the end cap and outlet elbow.
  - 4. Finish grade the ramp gravel.
  - 5. Place the filter sand
  - 6. Place the planting soil. Grade of the finished surface is critical. The entire surface should be graded to within 0.1\"/>
  - 7. Seed and mulch as specified.
  - 8. Install silt fence 20 feet or 0.5 feet vertically outside of the limits of the Bioretention Cell. The silt fence is intended to protect the cell from sediment until the construction site is stabilized.



**2 BIORETENTION CELL**  
1/2\"/>



**NOTE:** Unless otherwise indicated use ODOT standard Drawing TC-41.20 Yielding Post to mount the Handicapped Signage. Use ODOT 630 Sign Supports - Type S, No. 2 Post set in a Square Post Anchor Base. Post shall be 1.75\"/>

**3 HANDICAPPED PARKING SPACE DETAIL**  
1\"/>

**SILT FENCE INSTRUCTIONS**

- INSTALLATION -**
- Silt fence shall be constructed according to the construction sequence or before any earth-disturbing activity. Silt fence shall be installed according to the plans. If site conditions do not match the plans, contact the Engineer to correct the design. Silt fence should be installed on the contour to spread the effluent over the length of the fence. The ends of the fence should be higher than the top of the silt fence along the length of the fence to prevent water from passing around the end of the fence.
  - Preserve at least 5 feet of vegetation uphill of the silt fence. If this is not possible, seed the disturbed area immediately.
  - The silt fence shall be a min. 16\"/>
  - The stakes shall be located on the downhill side of the silt fence.
  - Roll the stakes from adjacent sections of silt fence together and drive them together.

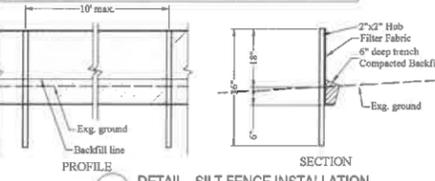
- MAINTENANCE -**
- Inspect the silt fence weekly and after each runoff event. Report any problems and repairs IN WRITING to the erosion control inspector. Promptly repair blowouts, torn fabric and erosion. If the silt fence is topped or silt-laden water bypasses the silt fence, consult with the Engineer and erosion control inspector to correct the installation.

**NOTE:** Silt fence fabric is meant to filter silt. Suspended clay in water can still pass through silt fence fabric. Do not expect effluent to be clear water.

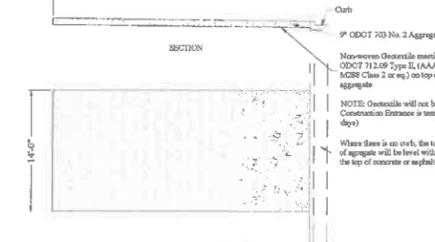
**MATERIALS -** Hebs shall be 2\"/>

Silt Fence shall meet the following:

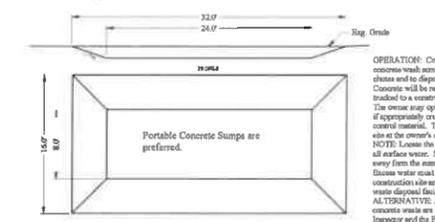
Fabric Properties	Control Values	Test Method
Tensile Strength	90 lb min.	ASTM D 1682
Burst Strength	150 psi min.	ASTM D 3785
Slurry Flow Rate	0.3 gpm/ft max.	
Eq. Opening Size	No. 40-80	US Sieve CW-02215
Ultraviolet Resistance	90% min.	ASTM G 26



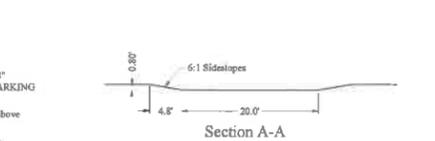
**4 DETAIL - SILT FENCE INSTALLATION**  
3/8\"/>



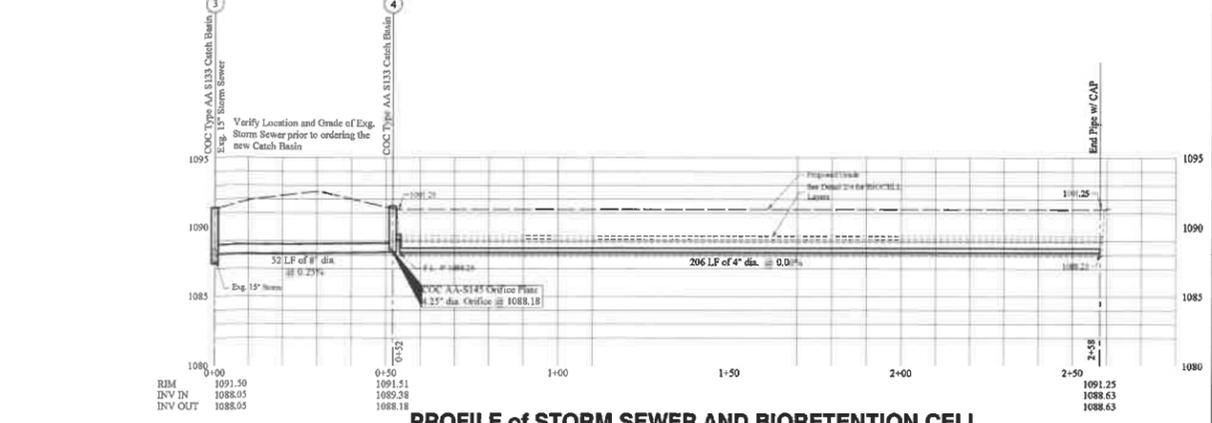
**5 DETAIL - CONSTRUCTION ENTRANCE**  
1\"/>



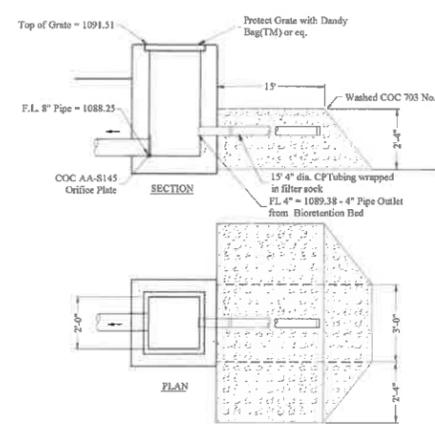
**6 DETAIL - CONCRETE WASH OUT SUMP**  
1/2\"/>



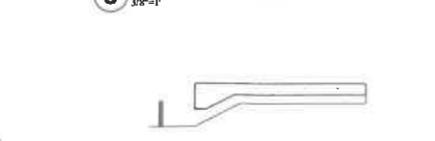
**7 CROSS-SECTION of EMERGENCY SPILLWAY**  
1\"/>



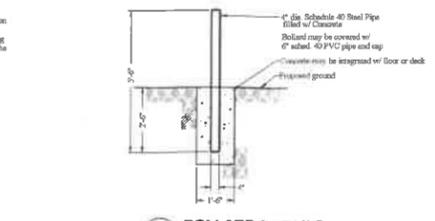
**PROFILE of STORM SEWER AND BIORETENTION CELL**  
H:1\"/>



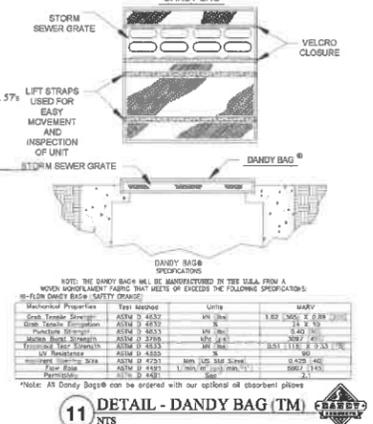
**8 SEDIMENT BASIN OUTLET**  
3/8\"/>



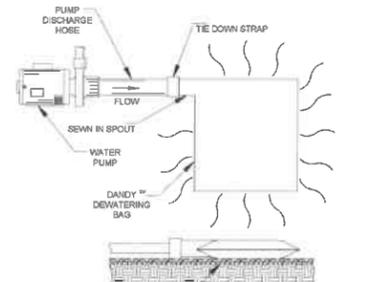
**9 DETAIL Combined Sidewalk and Curb**  
1/2\"/>



**10 BOLLARD DETAILS**  
1/2\"/>



**11 DETAIL - DANDY BAG (TM)**  
NTS



**12 TYP. DEWATERING BAG INSTALLATION**  
NTS

**NOTE:** THE DANDY DEWATERING BAGS WILL BE MANUFACTURED IN THE U.S.A. FROM A NONWOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Material Properties	Test Method	Units	MIN	MAX
Curb Tensile Strength	ASTM D 4632	lb (kg)	0.9 (0.4)	6.9 (3.1)
Curb Tensile Elongation	ASTM D 4632	%	50	50
Pressure Strength	ASTM D 4633	lb (kg)	0.58 (0.26)	2.18 (0.98)
Minimum Burst Strength	ASTM D 3786	lb (kg)	2.18 (0.98)	
Permeability (Free Stream)	ASTM D 4333	lb (kg)	0.26 (0.12)	2.18 (0.98)
UV Resistance	ASTM D 4335	%	70	
Equivalent Silt	ASTM D 4751	lb (kg)	1.18 (0.53)	6.18 (2.80)
Flow Rate	ASTM D 4451	lb (kg)	0.58 (0.26)	2.18 (0.98)
Permeability	ASTM D 4451	Sec	1.0	

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OFFICE/WAREHOUSE BUILDING  
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 28 Kaman Drive  
 Franklin, Ohio



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Rev. No.	Date	Description
1	10/26/2017	Issue for Construction

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive North  
 Pataskala, Ohio

**DESIGN CRITERIA:**

FLOOR LIVE LOADS per Table 1607.1	
WAREHOUSE AREA:	10 P&F
OFFICE AREA:	30 P&F
GROUND SNOW LOAD:	20 P&F
SEISMIC DESIGN CATEGORY:	B
SITE CLASS:	D
SPECTRAL ACCELERATION:	0.17
SITE COEFFICIENT:	1.0
SEISMIC USE GROUP:	I
WIND SPEED:	30 MPH
EXPOSURE CATEGORY:	B
ASSUMED SOIL BEARING CAPACITY:	2000 P&F

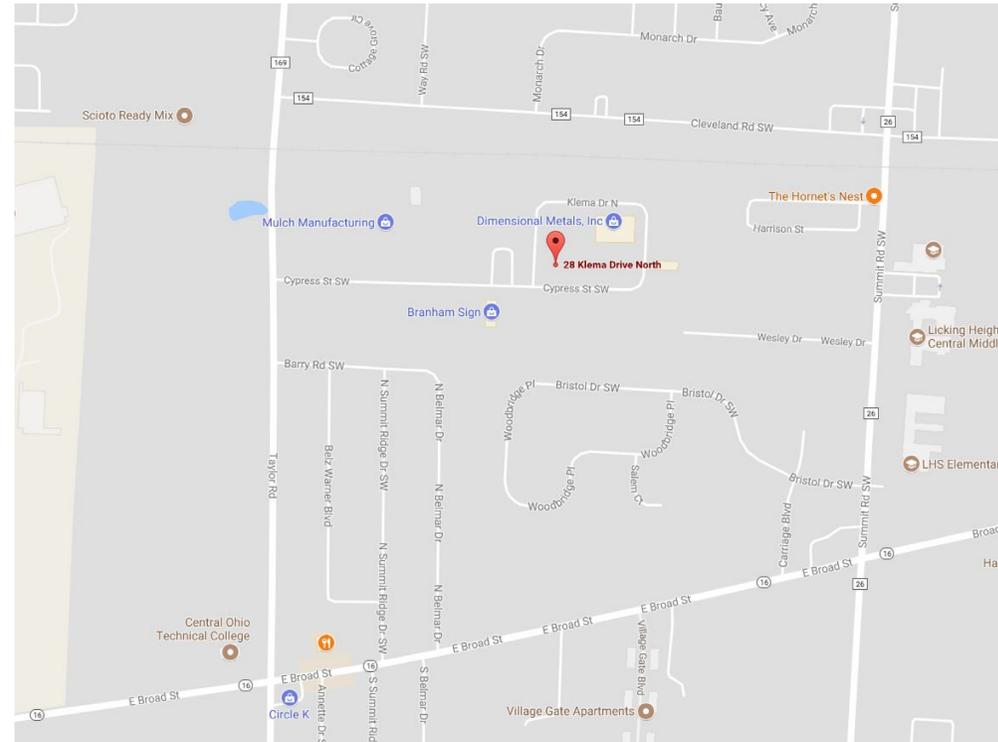
**CODE DATA:**

WORK TYPE:	New	
USE GROUP:	B/S-1	
CONSTRUCTION CLASSIFICATION:	VB	
BUILDING AREA:		
Allowable:	8-1: 9,000 SF    B: 9,000 SF	
Actual:	8-1: 8,006 SF    B: 2,938 SF	
Total Building Area:	10,944 SF	
Area Increase Per CBC Section 506.2:		
$I_s = F/P = 0.251 / 3.0$		
$I_s = 236/448 = 0.251 / 20/30$		
$I_s = 10.66 = 0.251 / 0.66$		
$I_s = 10.41 / 0.66$		
$I_s = 0.27 (27\%)$		
Allowable Area = 9,000 + 1,944 = 11,430 SF		
OCCUPANT LOADS:		
Unit 1:	Unit 2:	Unit 3:
B - 8 Persons	B - 8 Persons	B - 8 Persons
8-1 - 4 Persons	8-1 - 6 Persons	8-1 - 6 Persons

**GENERAL NOTES:**

- All dimensions are to the rough face of framing or masonry unless otherwise noted.
- All doors and door hardware shall comply with CBC Section 1008.
- All doors shall be equipped with hardware that complies with CBC Section 1008.1.3.1
- Ventilation of indoor spaces shall comply with Section OMC Section M402.2.
- It shall be the responsibility of the contractor and/or owner to review these drawings and verify all windows and equipment prior to commencement of construction or ordering of materials, equipment, and/or windows. The author of these drawings shall not be responsible for any omissions or errors in dimensional information or any of the aforementioned items contained herein.
- All construction operations shall be performed in accordance with the CBC, 2011 Edition and all other applicable state and local codes. All accessibility features and elements shown herein are based on the 2010 ADA Standards for Accessible Design and CBC Chapter 11.

**VICINITY PLAN**

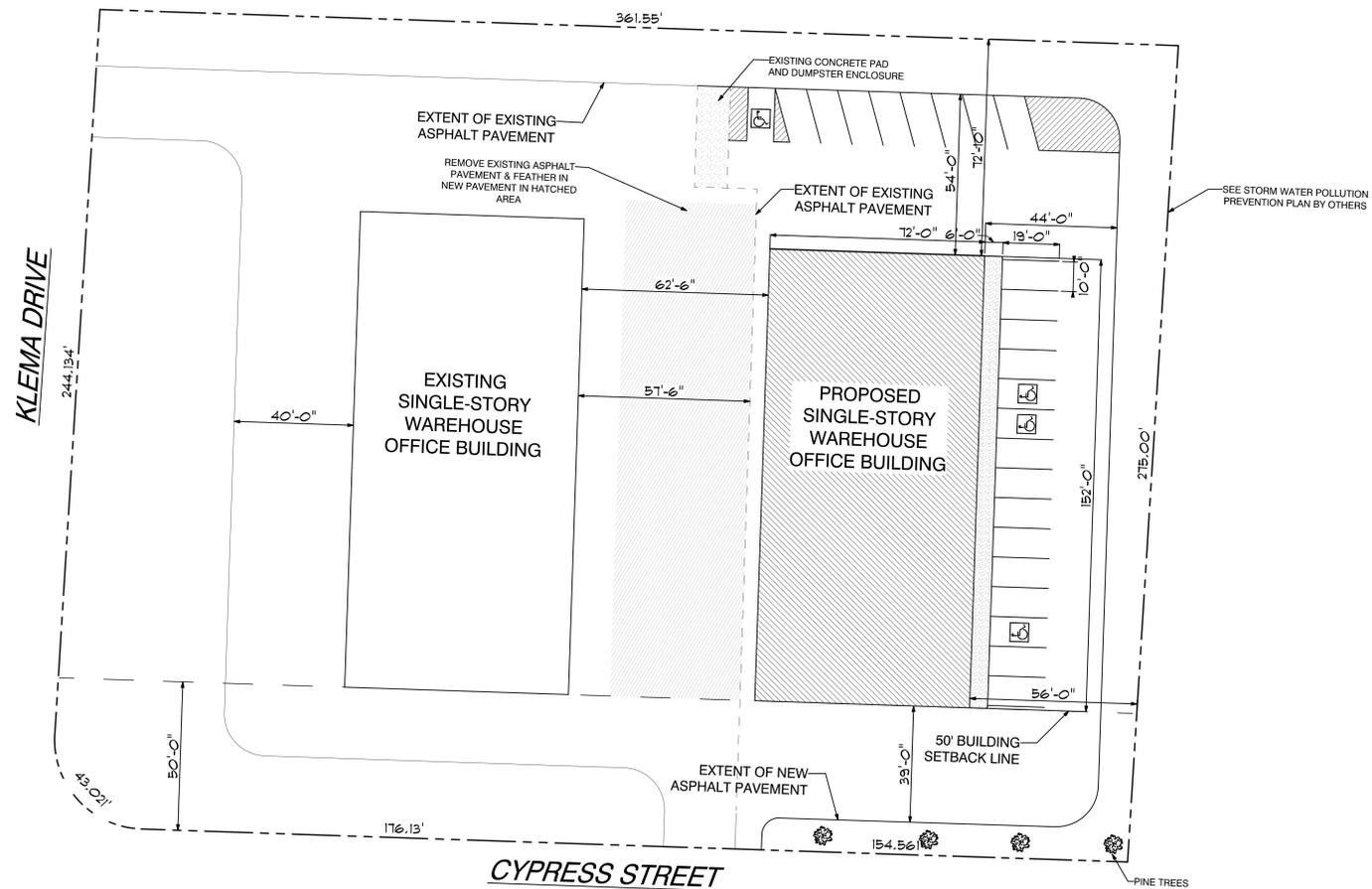


**SHEET INDEX:**

cover	Design Criteria, Code Data, Site Plan, Vicinity Plan
A1.01	Floor Plan
A2.01	Exterior Elevations
S1.01	Foundation, Post, and Framing Plan
S1.02	Roof Truss Placement Plan
S2.01	Sections & Details
E1.01	Lighting & Electrical Floor Plans, Electrical Schedule, Riser Diagram
M1.01	Mechanical Floor Plan and Mechanical Details
P1.01	Plumbing Plan, Plumbing Isometric



OHIO  
**Utilities Protection**  
 SERVICE  
*Call Before You Dig*  
 Call 1-800-362-2764 or 8-1-1 before  
 any excavation commences



**SITE PLAN**  
 1" = 20'  
 NORTH

**REVISIONS**

No.	Description

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive North  
 Pataskala, Ohio

- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	4/12/18
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

Cover

12/21/17

**CODED NOTES**

- ① Min. 22"x30" Attic Access
- ② 6 Gallon Electric Water Heater - Wall Mount Above Sink - 96" AFF
- ③ Mop Sink
- ④ Hanging Gas Heater
- ⑤ 6" Steel Bollard
- ⑥ Water Cooler By Tenant
- ⑦ Concrete Apron
- ⑧ Gas Furnace
- ⑨ Grab Bars Per ANSI/ICC A117.1
- ⑩ Base Cabinets w/ Laminate Countertop
- ⑪ Wall Cabinets
- ⑫ Single Bowl Stainless Sink
- ⑬ 36"x48" 2-Piece Fiberglass Shower
- ⑭ 40 Gallon Electric Water Heater - Place on Min. 6" Pedestal

**REVISIONS**

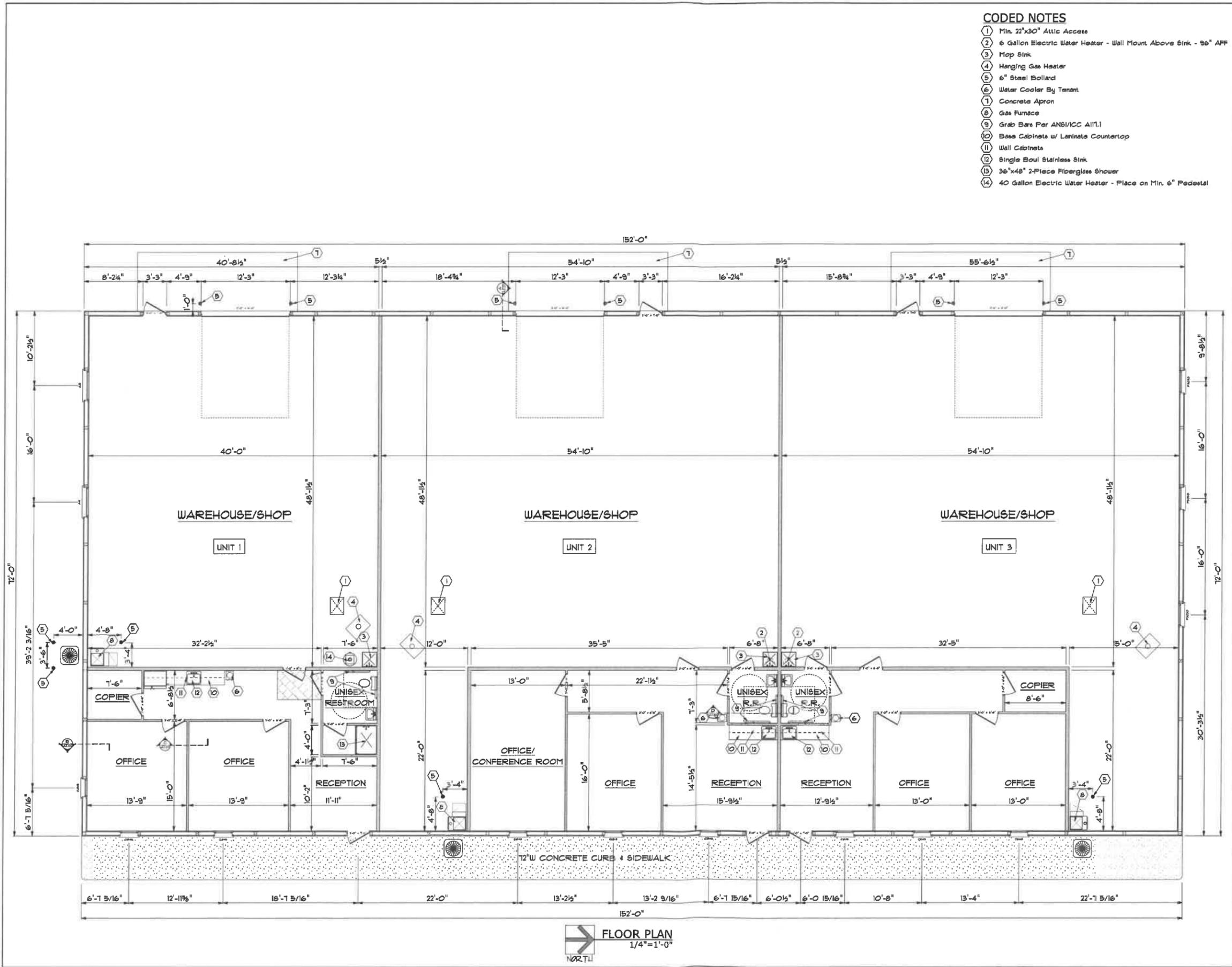
No.	Description

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive  
 Pataskala, Ohio

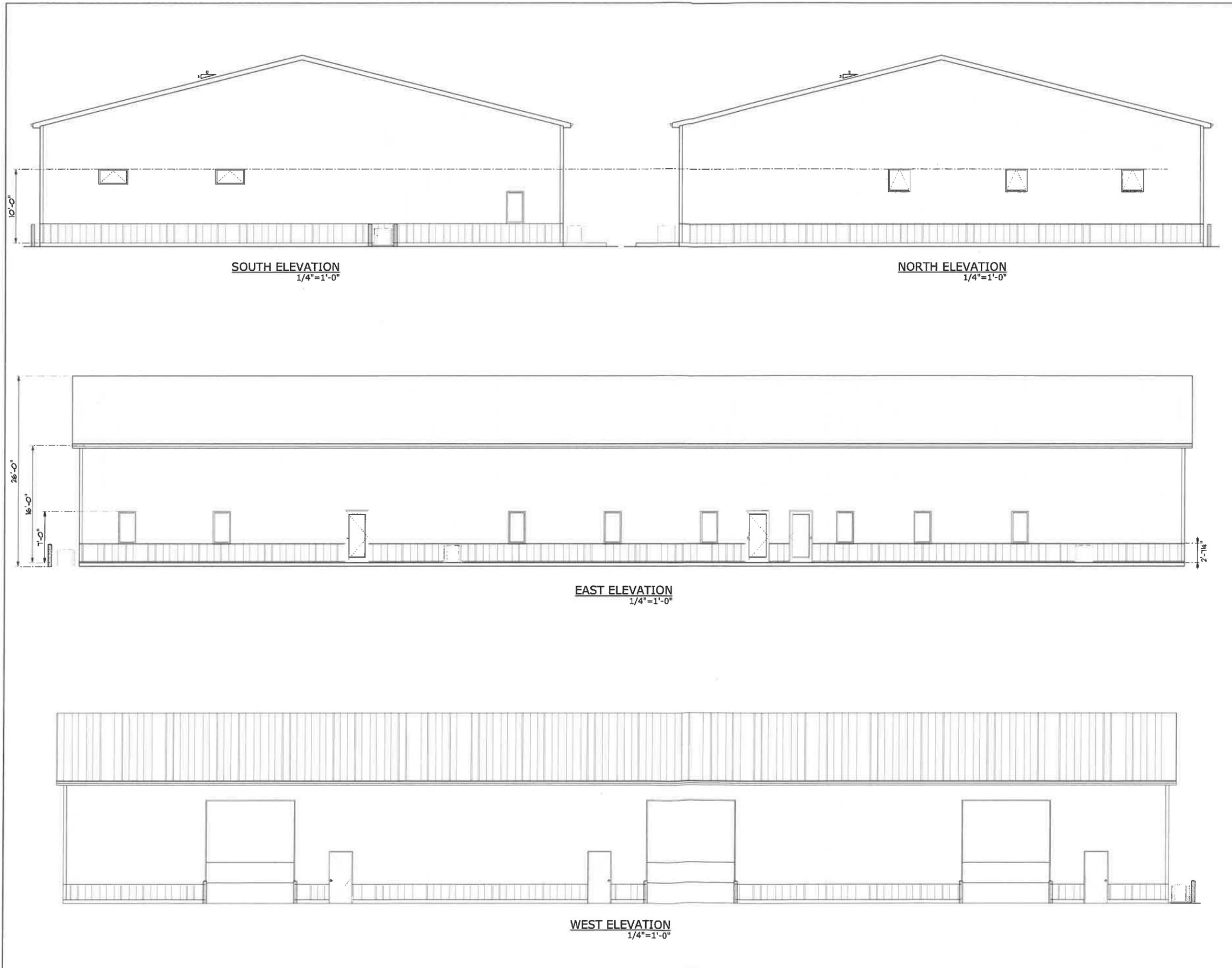
- Preliminary
- Bidding
- Permit/  
Construction

Scale	Noted
Date	8/25/17
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

**A1.01**



**FLOOR PLAN**  
 1/4"=1'-0"  
 NOT TO SCALE



**SOUTH ELEVATION**  
1/4"=1'-0"

**NORTH ELEVATION**  
1/4"=1'-0"

**EAST ELEVATION**  
1/4"=1'-0"

**WEST ELEVATION**  
1/4"=1'-0"

REVISIONS	

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive  
 Pataskala, Ohio

- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	8/25/11
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

**A2.01**

12/21/17

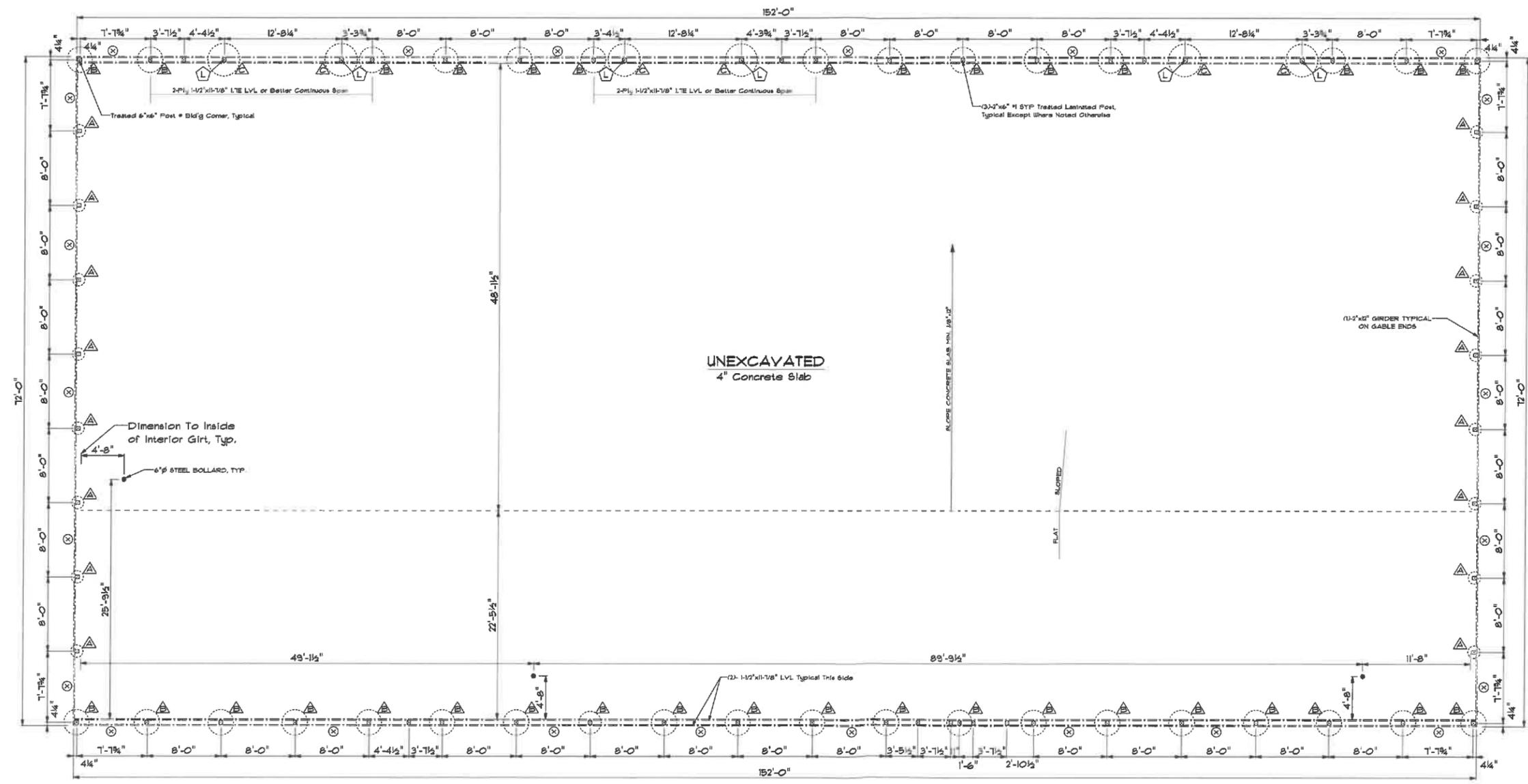
REVISIONS

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive  
 Pataskala, Ohio

- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	8/25/17
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

S1.01



UNEXCAVATED  
 4" Concrete Slab

COLUMN FOOTING KEY

- 16" x 8" Concrete Column Footing
- 33" x 12" Concrete Column Footing
- 42" x 12" Concrete Column Footing

POST BRACING LOCATION - SEE SHEET 02.01 FOR DETAILS  
 8-1/4" x 5-1/2" Preservative Treated LVL Column

POST, FOOTING, AND FRAMING PLAN  
 1/4" = 1'-0"

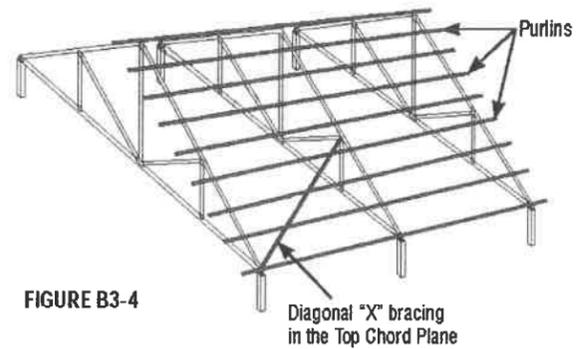
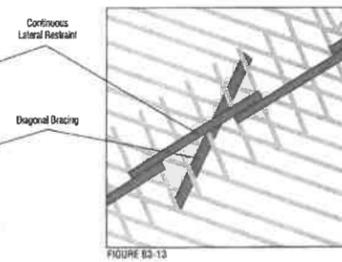
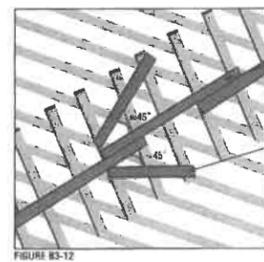
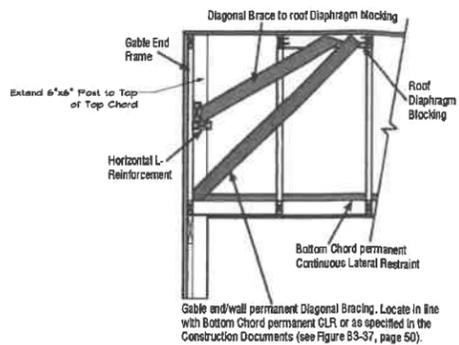
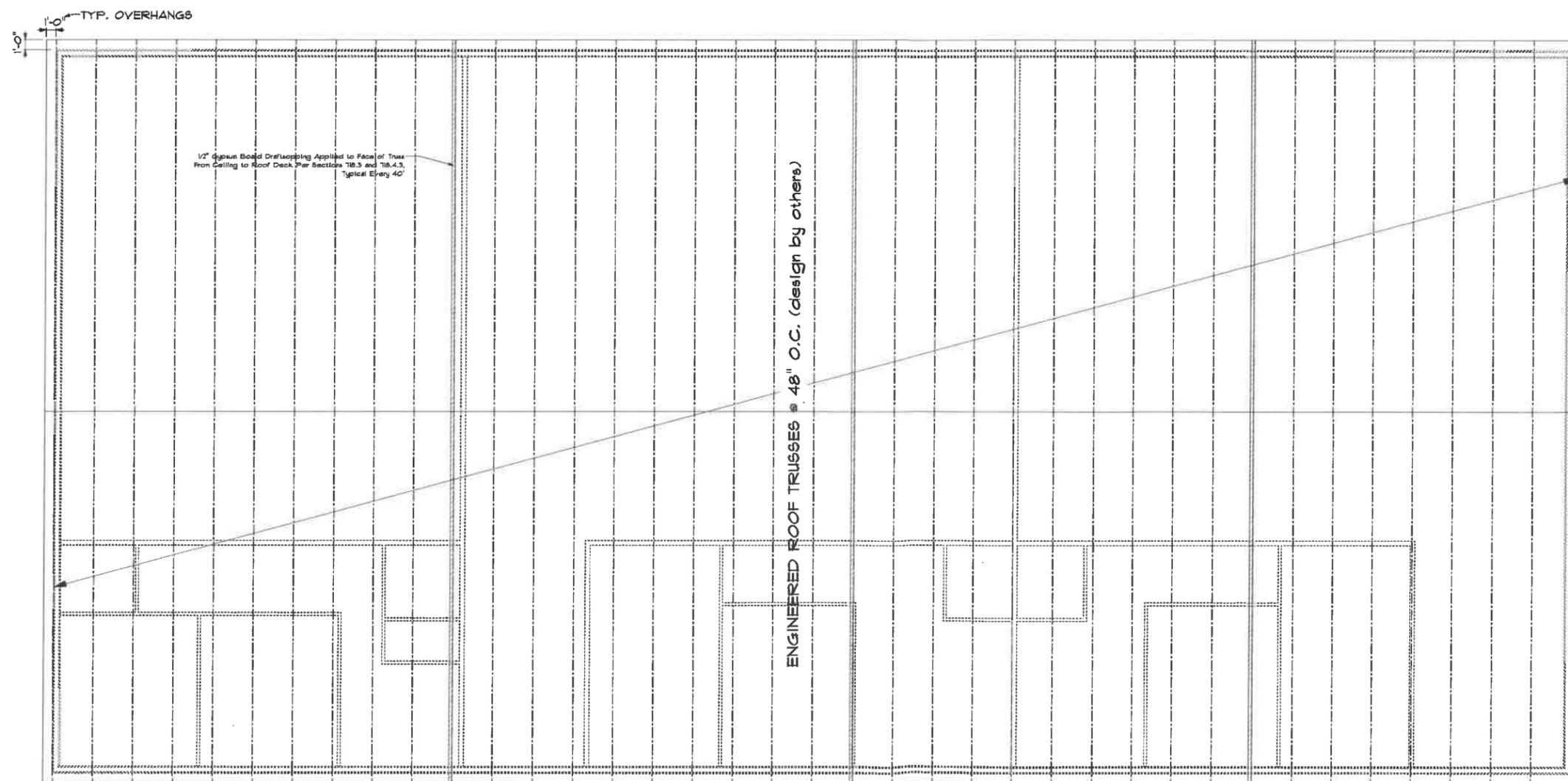


FIGURE B3-4



TRUSS BRACING DETAILS  
NTS



ROOF TRUSS PLACEMENT PLAN  
1/4" = 1'-0"

12/21/17

REVISIONS

No.	Description

Office/Warehouse Building for  
**SCOTT MUELLER**  
28 Klema Drive  
Pataskala, Ohio

- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	8/25/17
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

\$1.02

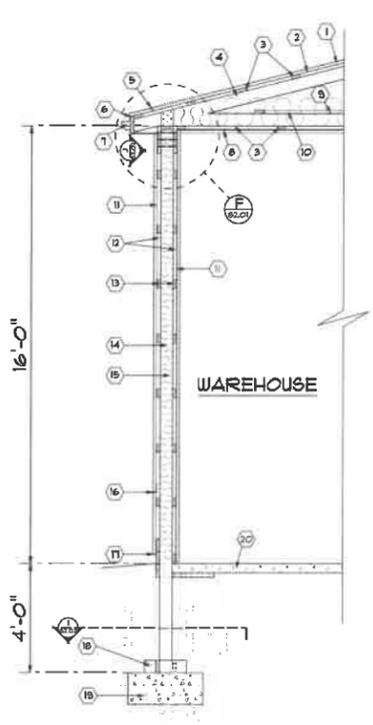
REVISIONS

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive  
 Pataskala, Ohio

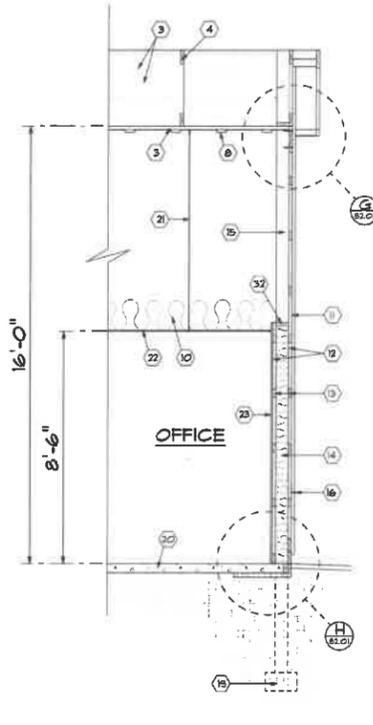
- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	8/25/17
Job No.	1709-C
Drawn	GDK
Checked	AAA
Sheet No.	

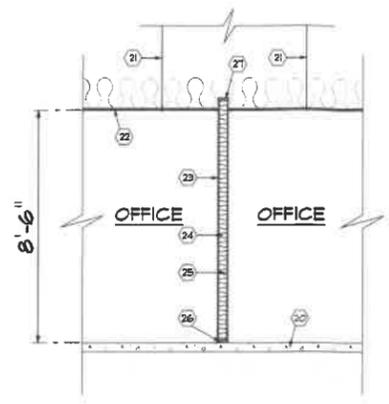
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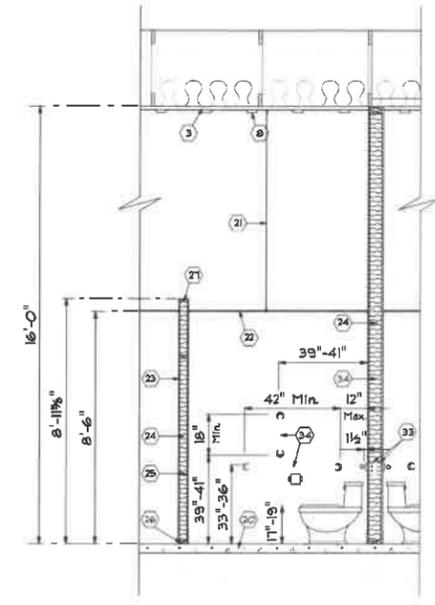
**A SECTION**  
1/2"=1'-0"



**B SECTION**  
1/2"=1'-0"



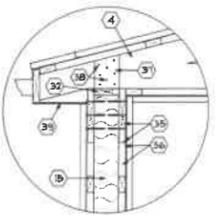
**C SECTION**  
1/2"=1'-0"



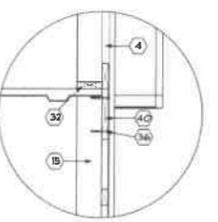
**D SECTION**  
1/2"=1'-0"

**CODED NOTES:**

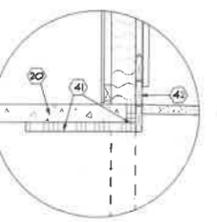
- 1 Min. .032" (29 Gauge) Metal Channel Drain Roofing
- 2 Underlayment Per Metal Manufacturer's Instructions
- 3 2"x4" Purlins @ 24" o.c.
- 4 Engineered Roof Trusses @ 48" o.c. (design by others)
- 5 Ice/Snow Stops
- 6 Eaves Flashing By Metal Roofing Manufacturer
- 7 Min. 5" Aluminum Gutter
- 8 Min. .032" (29 Gauge) Metal Channel Drain Ceiling
- 9 Bottom Chord Diagonal Bracing Per BC51-1
- 10 Min. R-38 Insulation
- 11 Min. .032" (29 Gauge) Metal Channel Drain Siding
- 12 2"x4" Vertical Fireblocking Between Girts, Typ.
- 13 2"x4" Girts @ 24" o.c.
- 14 Min. R-19 Fiberglass Insulation
- 15 Treated (3x2"x6" Built-Up or LVL Post (See Sheet 61.01)
- 16 J-Flashing By Metal Siding Manufacturer
- 17 Clearance to Finish Grade Per Metal Siding Manufacturer
- 18 Treated 2"x6" Uplift Blocking (see detail this sheet)
- 19 Concrete Footing Per Foundation Plan
- 20 Min. 4" Concrete Slab Over 6-Mil Poly Vapor Barrier Over Min. 4" Compacted Gravel
- 21 Min. 16 Gauge Wire
- 22 2"x4" Dropped Ceiling
- 23 5/8" Gypsum Board
- 24 Min. R-11 Sound Insulation
- 25 Precut 2"x4"x104-5/8" Stud @ 16" o.c.
- 26 Treated Bottom Plate
- 27 Single 2"x4" Top Plate
- 28 23/32" T&G OSB
- 29 2"x6" Ceiling Joists @ 24" o.c.
- 30 Simpson HUB26 Joist Hanger Typ.
- 31 2"x6" Ledger
- 32 2"x6" Fireblocking (ripped to 5" wide @ LVL girders)
- 33 2"x6" Blocking For Grab Bars
- 34 Grab Bars Per ANS/ICC A117.1
- 35 (2) 1-1/2"x1-1/8" LVL
- 36 (3) FastenMaster TRUSSLOK04 Screws @ 3" o.c. Into Each Member = Each Column
- 37 Outlets 2"x6" To Extend to Top of Truss Top Chord
- 38 (8)-16d Nails Each Side
- 39 Vented Soffit By Metal Roofing Manufacturer
- 40 (1) - 2"x12" Girder Typ. For Gable End Walls
- 41 Min. R-10 Rigid Foam Insulation From Top of Slab Down, and 24" Into Building
- 42 (3)-Treated 2"x6" T&G Scribed Boards, Typical
- 43 5-1/4"x5-1/4" Preservative Treated LVL Post (See Sheet 61.01 for Locations)
- 44 Not Used



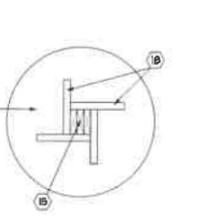
**F DETAIL**  
1"=1'-0"



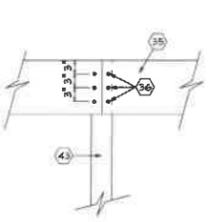
**G DETAIL**  
1"=1'-0"



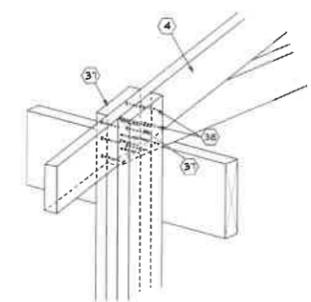
**H DETAIL**  
1"=1'-0"



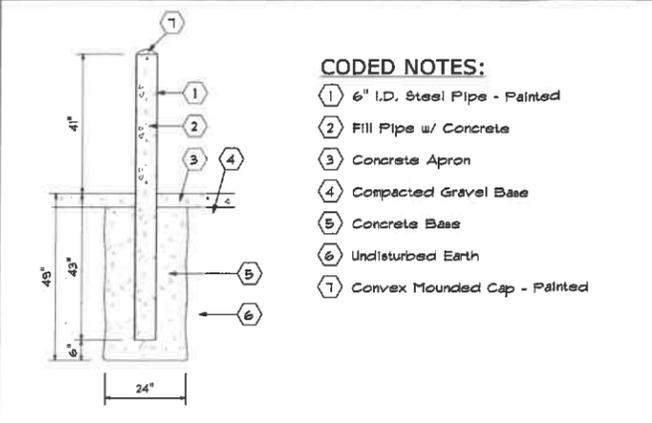
**I DETAIL**  
1"=1'-0"



**J DETAIL**  
1"=1'-0"

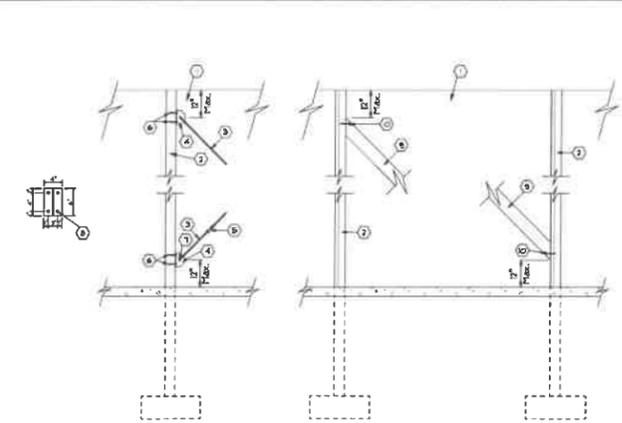


**COLUMN/TRUSS BEARING ISO**  
N.T.S. N.T.S.



- CODED NOTES:**
- 1 6" I.D. Steel Pipe - Painted
  - 2 Fill Pipe w/ Concrete
  - 3 Concrete Apron
  - 4 Compacted Gravel Base
  - 5 Concrete Base
  - 6 Undisturbed Earth
  - 7 Convex Mounded Cap - Painted

**BOLLARD DETAIL**  
3/4"=1'-0"



- CODED NOTES:**
- 1 Girders
  - 2 (3)-2"x6" Built-Up Post
  - 3 1/2" @ 36Kil Threaded Steel Rod
  - 4 4"x6"x1/4" 36Kil Steel Tee
  - 5 1/2" @ 6" Long Turnbuckle
  - 6 (4) - 1/2" @ 3" Long Lag Screws
  - 7 1/2" @ 3" Typical
  - 8 5/16" @ 3" Typical
  - 9 Treated 6"x6" Brace
  - 10 (2)-FastenMaster TLOR04 Screws

**X BRACING DETAIL**  
1/2"=1'-0"

**PANELBOARD DIAGRAM**  
**PANEL A 200A MAIN BREAKER, 120/240V, SINGLE PHASE**  
**MOUNT - SURFACE GROUND BUSS SOLID NEUTRAL**

DESCRIPTION	POLE	AMP	CCT NO.	AMP	POLE	DESCRIPTION	
A/C	2	20	1	2	2	Water Heater	
Furnace	2	20	5	6	20	1	Reception & Restroom Receptacles
Office Receptacles	1	20	7	8	20	1	Reception & Restroom Lighting
Office Lighting	1	20	9	10	20	1	Office Receptacles
Warehouse Lighting	1	20	11	12	20	1	Office Lighting
Warehouse Receptacles	1	20	13	14	20	1	Warehouse Lighting
Warehouse Receptacles	1	20	15	16	20	1	Warehouse Receptacles
Warehouse Receptacles	1	20	17	18	20	1	Warehouse Receptacles
Exterior Lighting	1	20	19	20	20	1	Exterior Lighting
Kitchenette Receptacles	1	20	21	22	20	1	Exterior Lighting
Hanging Unit Heater (Warehouse)	2	20	23	24			Spare
Spare			25	26			Spare
Spare			27	28			Spare
Spare			29	30			Spare

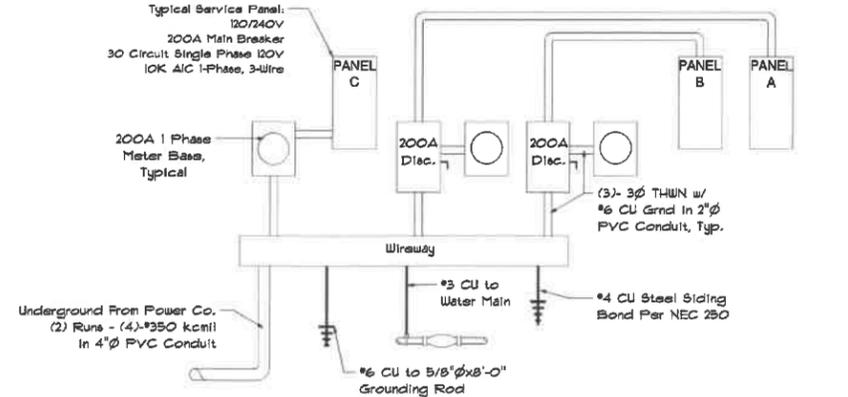
NOTES:  
 1. All electrical equipment and installation shall comply with the NEC, 2011 Edition

**PANELBOARD DIAGRAM**  
**PANELS B & C 200A MAIN BREAKER, 120/240V, SINGLE PHASE**  
**MOUNT - SURFACE GROUND BUSS SOLID NEUTRAL**

DESCRIPTION	POLE	AMP	CCT NO.	AMP	POLE	DESCRIPTION	
A/C	2	20	1	2	2	Water Heater	
Furnace	2	20	3	4	20	2	Hanging Unit Heater (Warehouse)
Office Receptacles	1	20	5	6	20	1	Office Lighting
Office Lighting	1	20	7	8	20	1	Reception & Restroom Receptacles
Warehouse Lighting	1	20	9	10	20	1	Reception & Restroom Lighting
Warehouse Receptacles	1	20	11	12	20	1	Warehouse Lighting
Warehouse Receptacles	1	20	13	14	20	1	Warehouse Receptacles
Warehouse Receptacles	1	20	15	16	20	1	Warehouse Receptacles
Warehouse Receptacles	1	20	17	18	20	1	Warehouse Receptacles
Kitchenette Receptacles	1	20	19	20	20	1	Warehouse Receptacles
Office Receptacles	1	20	21	22	20	1	Exterior Lighting
Spare			23	24			Spare
Spare			25	26			Spare
Spare			27	28			Spare
Spare			29	30			Spare

**ELECTRICAL FIXTURE SCHEDULE**

DESCRIPTION	SYMBOL
Broan Model AEN10 100 CFM Bath Fan	
LEDone LOD-DL640-0827K-626 5/8" Can	
LEDone L1H-H-80K-2 High Bay LED Fixture	
LEDone LOD-34PL-80840K-65 Recessed	
Fulham P1EC33 Exit Sign w/ Emerg. Lights and PHOTO-Door Exterior Emerg. Light Head	
Electrical Panel	
Duplex Receptacle	
GFCI Receptacle	
GFCI Receptacle Switch Protected	
Single-Pole Switch	
3-Way Switch	
LEDone LOD-1P-40684D80K-AL Wall Pack on PhotoCell Control	
Wall Mount Entry Light on PhotoCell Control	

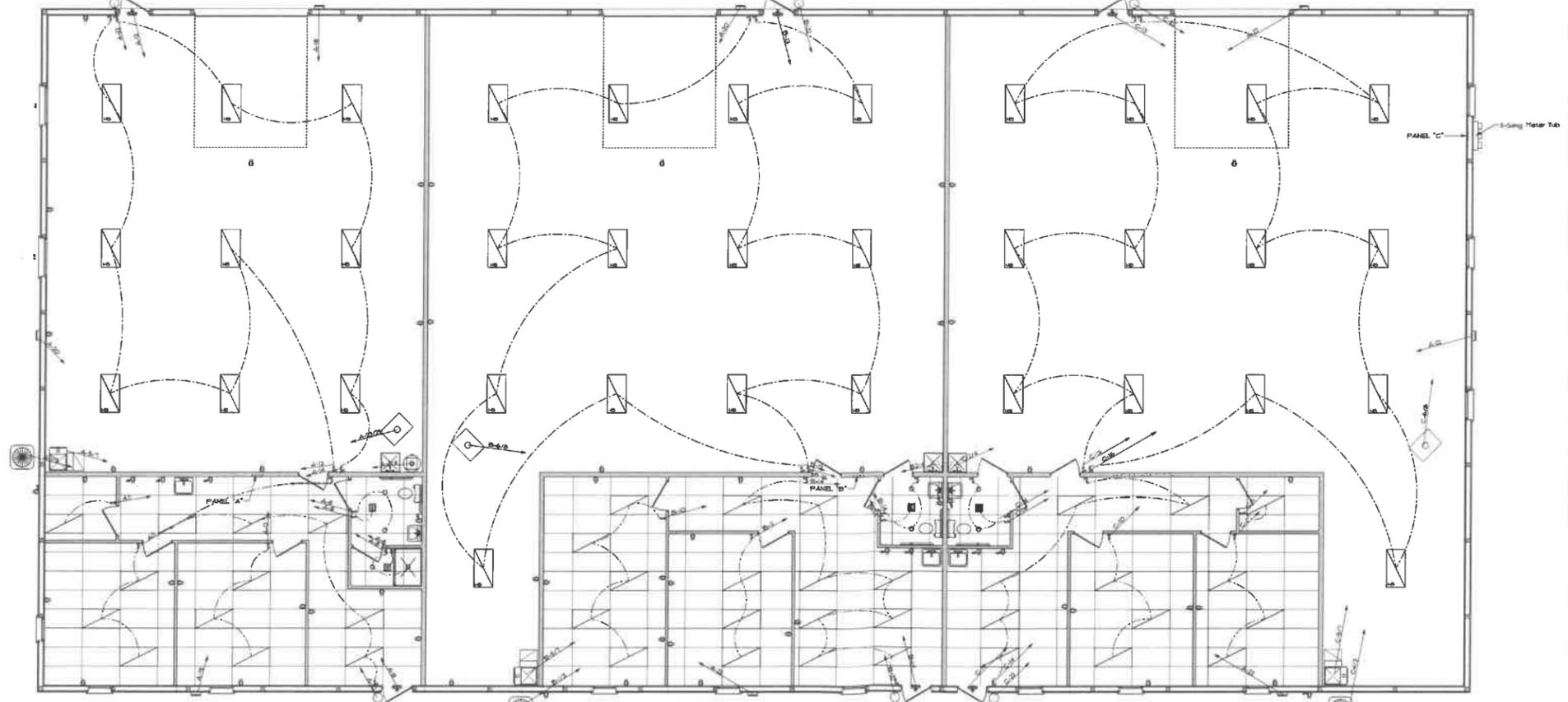


**ELECTRICAL LOADS:**  
 Lighting 6.2 kw  
 Receptacles 10.8 kw  
 HVAC 13.6 kw

Total Kw = 30.6 @ 208V  
 171.5A @ 240V Single Phase  
 600A Service Provided

**SERVICE NOTES:**

1. Panel Board to be Top or Bottom Mount
2. Verify AIC Rating With Transformer Rating
3. Use Flush Cover For Flush Mounting of Panel



**ELECTRICAL AND LIGHTING PLAN**  
 1/4" = 1'-0"



**REVISIONS**

NO.	DESCRIPTION

Office/Warehouse Building for  
**SCOTT MUELLER**  
 28 Klema Drive  
 Pataskala, Ohio

- Preliminary
- Bidding
- Permit/Construction

Scale	Noted
Date	9/11/17
Job No.	1709-C
Drawn	GDK
Checked	DA
Sheet No.	

**E1.01**

**FRESH AIR SCHEDULE - UNIT 1**

Description	S.F.	F.F. O.A. CFM	Occupants	Occupant CFM	Total O.A. Req'd	Ez	O.A. Avail.
Office	210	13	2	10	29	0.8	45
Office	210	13	2	10	29	0.8	45
Reception	404	25	4	20	56	0.8	90

**FRESH AIR SCHEDULE - UNIT 2**

Description	S.F.	F.F. O.A. CFM	Occupants	Occupant CFM	Total O.A. Req'd	Ez	O.A. Avail.
Office	290	18	2	10	35	0.8	55
Office	250	15	2	10	32	0.8	45
Reception	335	20	4	20	50	0.8	90

**FRESH AIR SCHEDULE - UNIT 3**

Description	S.F.	F.F. O.A. CFM	Occupants	Occupant CFM	Total O.A. Req'd	Ez	O.A. Avail.
Office	290	18	2	10	35	0.8	55
Office	250	15	2	10	32	0.8	45
Reception	335	20	4	20	50	0.8	90

**HVAC SPECIFICATIONS**

**PART 1 GENERAL**

**1.0 SCOPE**

- A. THE HVAC CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION AND TESTING OF THE HVAC SYSTEM AS INDICATED ON THE DIAGRAMS AND SPECIFICATIONS.
- B. SCOPE TO INCLUDE INSTALLATION OF THE COMPLETE HVAC SYSTEM INCLUDING ELECTRICS, DUCTWORK, RETURN GRILLES, THERMOSTAT WIRING TESTING AND BALANCING.
- C. THE HVAC CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR HIS WORK.

**1.1 CODES AND STANDARDS**

- A. ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2011 OHIO BUILDING CODE, 2011 OHIO MECHANICAL CODE (OMC), AMERICANS WITH DISABILITIES ACT (ADA), OLSMA, AND ALL APPLICABLE STATE AND LOCAL CODES.
- B. ALL MATERIALS SHALL BE U.L. LISTED AND BEAR THE U.L. LABEL.

**PART 2 OUTDOOR AIR DEVICES**

**2.0 AIR DEVICES**

- A. SUPPLY AIR AND RETURN DEVICES SHALL BE NEW AS SPECIFIED.
- B. AIR DEVICES SHALL MATCH BUILDING STANDARD COLOR AND FINISH.

**2.1 DUCTWORK**

- A. DUCTWORK SHALL BE INSULATED GALVANIZED SHEET METAL AND FLEX SIMILAR TO TYPE USED IN BUILDING.
- B. REUSE EXISTING DUCTWORK WHERE POSSIBLE. CONTRACTOR SHALL INSPECT SAME TO MAKE SURE AIR TIGHT SEAL IS MAINTAINED. REPAIR OR REPLACE DEFECTIVE SEALS.
- C. PROVIDE VOLUME DAMPERS FOR EACH BRANCH RUN TO ALLOW FOR SYSTEM BALANCING. DAMPERS SHALL BE SINGLE CROSS-BLADE UP TO 12" BLADE WIDTH AND SHUT-BLADE IN LARGER SIZES. DAMPERS MOUNTED IN DUCTS SHALL BE CONTROLLED BY A LOCKING QUADRANT POSITIONER WITH HANDLE FOR DUCTS WITH EXTERIOR REGULATION. PROVIDE STRAKE EXTENSIONS FOR POSITIONERS EQUAL TO NPT LOCK KEY. SHUT-BLADE DAMPERS SHALL BE OPPOSED BLADE WITH ADEQUATE LOCKING MEANS FOR STABLE POSITIONING. PROVIDE ACCESS PANELS WHERE NECESSARY FOR ACCESS TO DAMPERS.
- D. MATERIALS SHALL MEET ASTM E-84 STANDARDS FOR SMOKE DEVELOPMENT OF 150 OR LESS AND FLAME SPREAD OF 25 OR LESS.
- E. ELBOWS SHALL HAVE AN INSIDE RADIUS EQUAL TO THE DUCT WIDTH IN LIEU OF WHICH DOUBLE WALL TURNING VANES HAVING EQUIVALENT OR LESS PRESSURE DROP ARE ACCEPTABLE.
- F. ALL MATERIALS EXPOSED ABOVE CEILING IN RETURN PLUMBING SHALL CONFORM TO OMC 0902.1.

**PART 3 CONTROLS**

- A. THERMOSTATS SHALL BE LOCATED AS INDICATED ON THE PLANS. PROVIDE NEW CONTROL WIRING IF REQUIRED. RE-USE EXISTING CONTROL WIRING IF POSSIBLE.
- B. THERMOSTATS SHALL BE PROGRAMMABLE TO COMPLY WITH ASHRAE 90.1 REQUIREMENTS.

**CODED NOTES**

- ① Rezor Model UDAP 60 66,000 BTU Gas Hanging Heater - Provide Combustion Air Per OMC.
- ② Bryant Model 985A43060 60,000 BTU Gas Furnace
- ③ Bryant Model BA19024 A/C Compressor - 2.5 Ton, 13 SEER
- ④ Bron Model AB1110 110 CFM Bath Fan
- ⑤ 3" Flexible Duct - Terminate Outside Building Envelope
- ⑥ 2" PVC Flue Per OMC & Furnace Manufacturer
- ⑦ 8" PVC Fresh Air Intake Thru Exterior Wall w/ Louver/Mesh Closure
- ⑧ 6" Steel Boilder

**MECHANICAL ABREVIATIONS**

- ① THERMOSTAT/TEMPERATURE SENSOR
- ② 202 SUPPLY DIFFUSER THIS OAH SERIES
- ③ 202 RETURN GRILLE THIS OAH SERIES
- ④ 102 RETURN GRILLE THIS OAH SERIES

**AIR DEVICE NOTATION**

TYPE OF AIR DEVICE

CFM QUANTITY

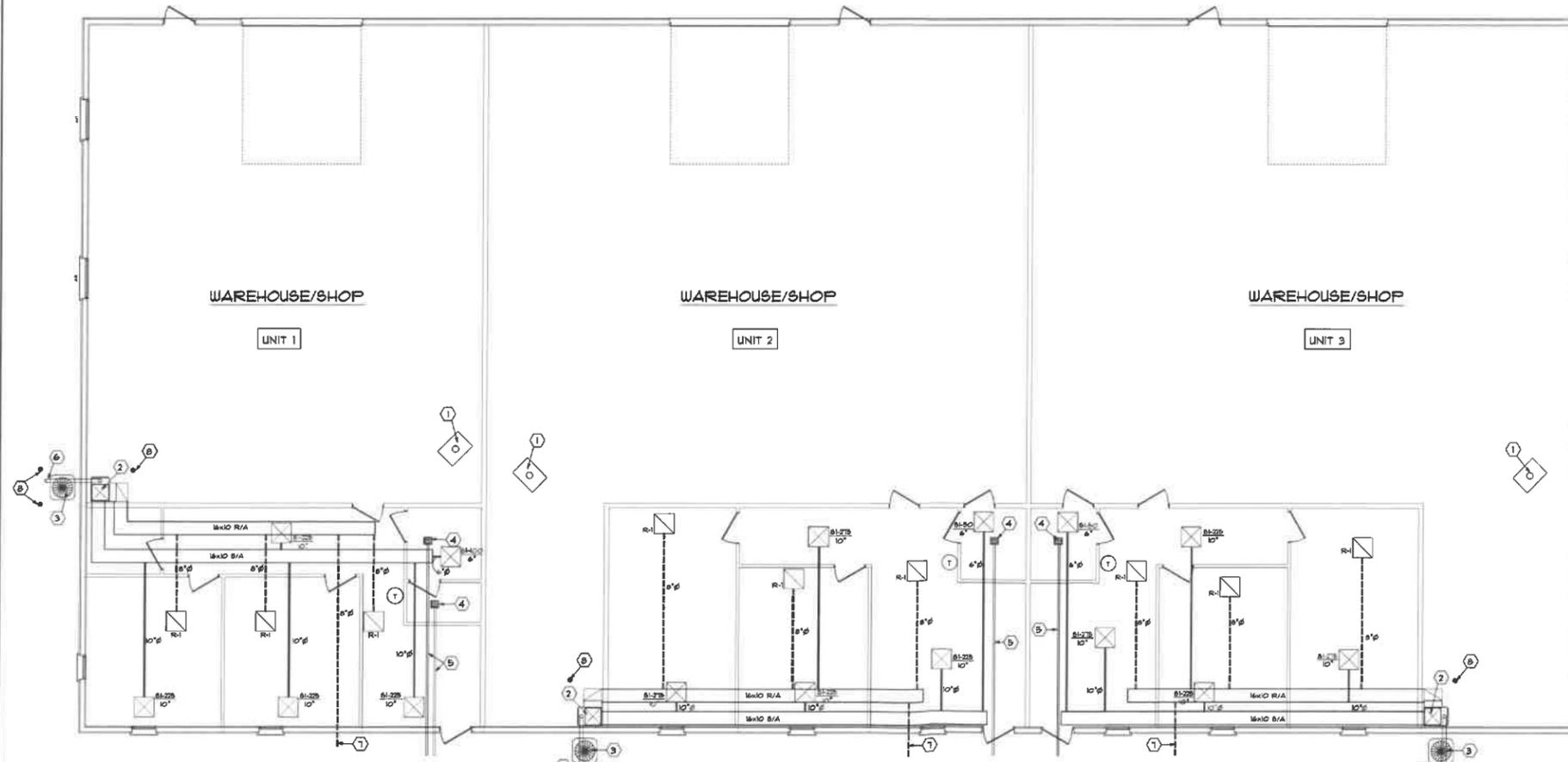
DUCT SIZE DIAMETER

ROUND DUCTWORK

FLUE & MAX

SUPPLY DIFFUSER

VOLUME DAMPER



**MECHANICAL PLAN**  
1/4" = 1'-0"



**REVISIONS**

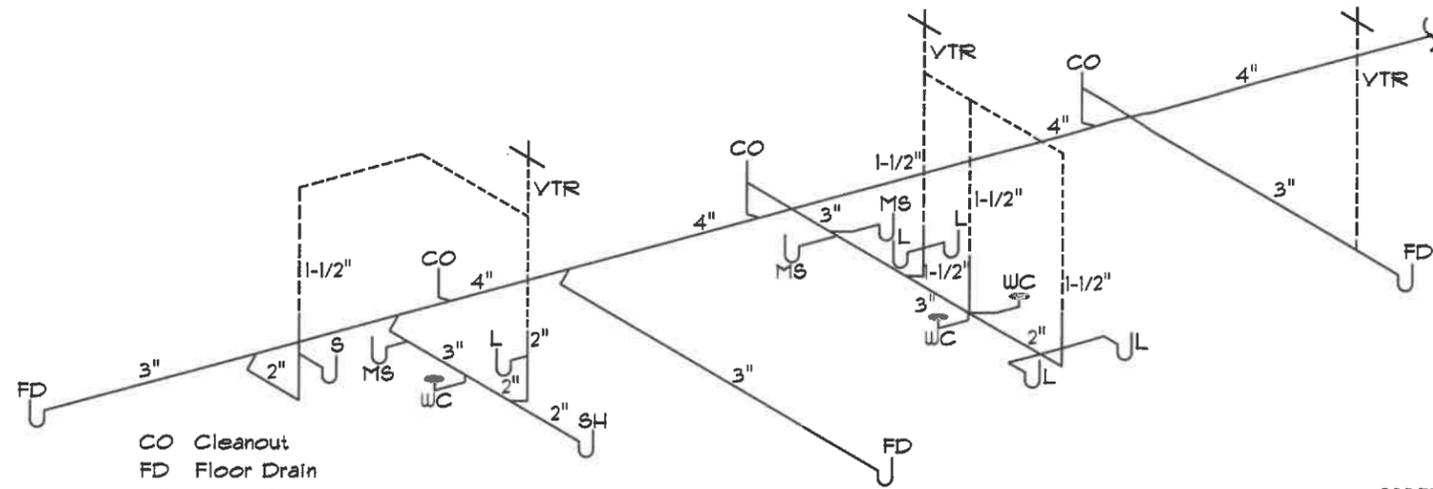
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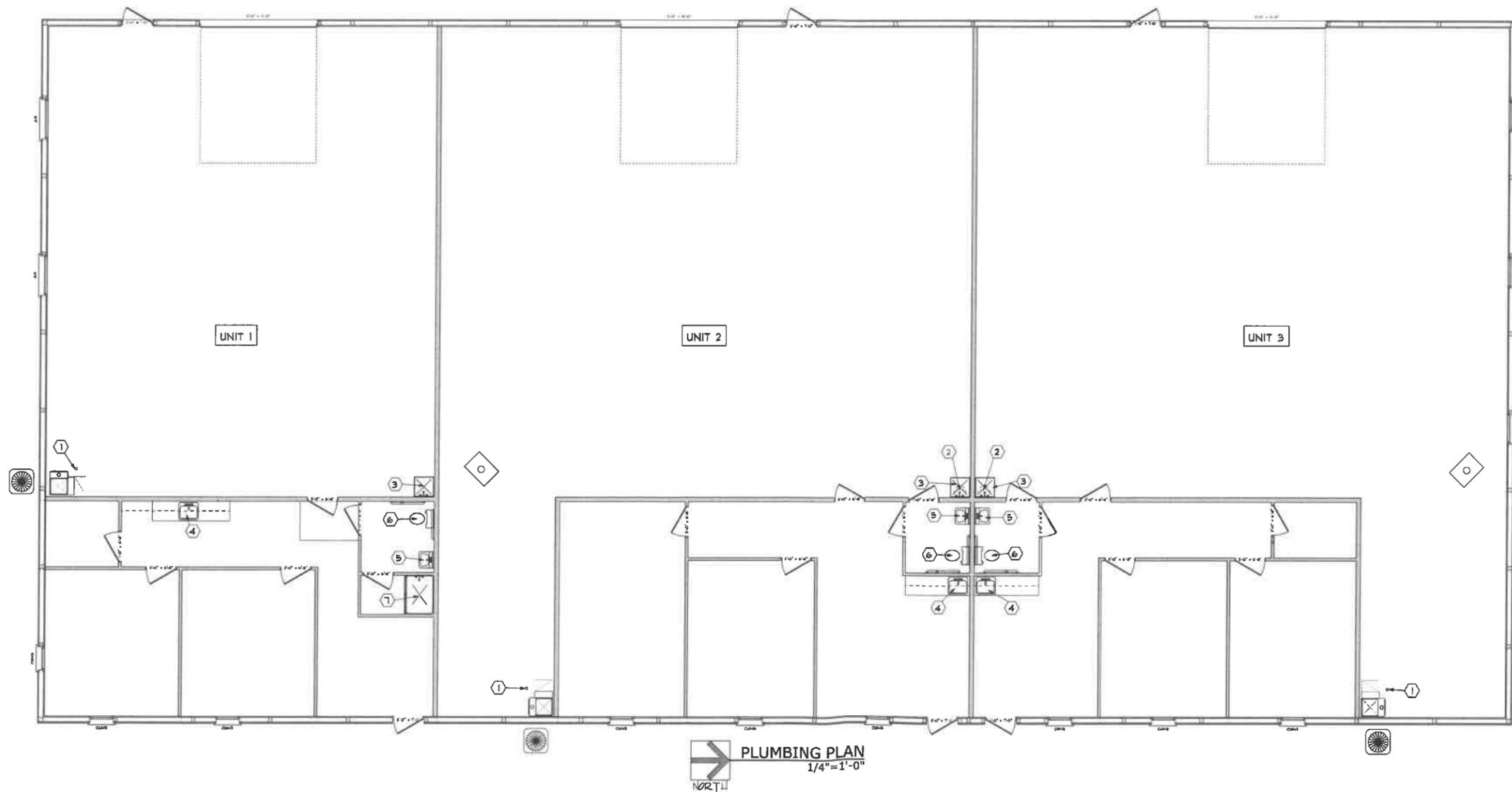


CO Cleanout  
 FD Floor Drain  
 WC Water Closet  
 MS Mop Sink  
 S Sink  
 SH Shower  
 VTR Vent Thru Roof

PLUMBING ISOMETRIC  
 N.T.S.

CODED NOTES

- ① Floor Drain
- ② 6 Gallon Electric Water Heater - Wall Mount Above Sink
- ③ Plastic Mop Sink
- ④ Single Bay Stainless Kitchen Sink - Drop In
- ⑤ ANSI/ICC A11.1 Compliant Lavatory Bowl
- ⑥ ANSI/ICC A11.1 Compliant Lavatory Bowl
- ⑦ 48" 2-Piece Fiberglass Shower



PLUMBING PLAN  
 1/4" = 1'-0"

REVISIONS	

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**SCOTT MUELLER**  
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