



## CITY OF PATASKALA PLANNING & ZONING COMMISSION

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

### STAFF REPORT

August 7, 2019

#### TCOD Application TCOD-19-002

<b>Applicant:</b>	Jefferey Williamson
<b>Owner:</b>	J&CW Enterprises
<b>Location:</b>	7856 Hazelton-Etna Road, Pataskala, OH 43062
<b>Acreage:</b>	1.24-acres
<b>Zoning:</b>	PRO – Professional-Research Office
<b>Request:</b>	Requesting approval of a Transportation Corridor Overlay District Permit pursuant to Section 1259.07(A) of the Pataskala Code for a 5,860-square foot office building.

#### Description of the Request:

The applicant is seeking approval of a Transportation Corridor Overlay District application for the construction of a 5,860-square foot office building.

#### Staff Summary:

The 1.24-acre property at 7856 Hazelton-Etna Road (SR 310) is adjacent to the Sugar Mill Subdivision on the west. Previously, the lot was occupied by a single-family home, however it was demolished in 2018 and the lot is currently vacant. As the lot is adjacent to two rights-of-way, Sugar Mill Drive to the north, and Hazelton-Etna Road to the east, it is a corner lot.

Currently, the property is zoned PRO – Professional-Research Office and was rezoned from the AG – Agricultural District on July 16, 2007 (Ordinance No. 2007-3780). When the property was rezoned, a Limitation Text was included with the Ordinance. This Limitation Text restricts the use of the property to the following permitted uses:

1. Medical or Medical-related offices, offices or clinics
2. Law offices
3. Insurance and/or real-state offices
4. Banks and Finance Establishments
5. Utility company offices
6. Research facilities and/or laboratories
7. Government offices
8. Planning, Architect or Engineering offices
9. Veterinary offices and clinics, excluding facilities for outside board or exercising of animals.

The Limitation Text further states additional requirements that must be met including: Architectural Commitments, Landscaping Standards, Traffic Commitments, Lighting/Utility Commitments, Trash and Garbage Control and Site Drainage. The full Limitation Text is attached to this staff report.

As this proposed development is within a quarter-mile of Hazelton-Etna Road (SR 310) south of Mill Street to the City corporate line, it falls within the jurisdictional boundaries of the Transportation Corridor Overlay District pursuant to Section 1259.03 of the Pataskala Code. Any proposed development in this area must apply for a TCOD Permit and have that approved by the Planning and Zoning Commission in a public hearing. Once approved, the applicant may begin the permitting process.

The Applicant is proposing a 5,860-square foot office building with the option of being built in two phases of 2,930-square feet each. The Applicant has stated that the reasoning for the option of being built in two phases is dependent on financing arrangements. The first phase is to be occupied by an insurance agency, and the second to be available for rent to a use that qualifies under the zoning requirements and the Limitation Text.

A general summary of the proposal is below:

Site Statistics:

- Total Site: 1.23-acres
- Proposed Building Coverage: 0.135-acres
- Proposed Parking Lot Coverage: 0.365-acres
- Lot Coverage: 39.00%

Building Type:

- 2-Unit Office Building – 5,860-square feet
  - Unit 1: 2,930-square feet
  - Unit 2: 2,930-square feet
- Single Story

Building Setbacks:

- Front: 91.6-feet (50-feet required per 1243.05(C)(1)).
- Side (North): 70.34-feet (50-feet required per 1243.05(C)(1) and 1243.05(C)(4))
- Side (South): 17-feet (15-feet required per 1243.05(C)(2)).
- Rear: 35-feet (25-feet required per 1243.05(C)(3)).

Parking:

- 14-parking spaces.
- 1-handicap space.
- Provisions for 6 future parking spaces with Phase 2.

Access:

- One two-way access onto Sugar Mill Drive.

Signage:

- One 42" x 96" (28-square foot) Wall Sign mounted on north building face.
- One Monument Sign, Unknown Size, Mounted on 10-foot height, 12-foot width stone base.

### Landscaping:

- East (Hazelton-Etna Rd Frontage): Either a 3' berm OR 3' hedge. Leave existing trees, however Applicant is proposing installing 5 additional trees on the north side of Sugar Mill Drive in lieu of having 1 tree per 30' on the east and north landscaping screen to provide better visibility of the structure from the road. The limitation text requires L2 landscaping unless a variance is requested.
- South: 3' high hedge screen with 5 new Red Maple trees spaced at 30'. Applicant also stated the possibility of installing just well-groomed grass (no additional landscaping) if PZC will allow. The limitation text requires L2 landscaping unless a variance is requested.
- West (adjacent to Sugar Mill Subdivision): 6' high arborvitae screen with 4 new trees spaced at 30'. Proposes using existing trees in lieu of new trees for bottom half (south portion) of the landscape screen. The limitation text requires L2 landscaping unless a variance is requested.
- North (Sugar Mill Dr Frontage): 3' high hedge screen, leave existing trees (possible removal of diseased Fir tree). The limitation text requires L2 landscaping unless a variance is requested.
- Additional Landscaping: As mentioned above, the Applicant has proposed 5 additional trees on the north side of Sugar Mill Drive in lieu of the required 1 tree per 30' on the east and north landscaping screening. Applicant also stated they would like to match this with 3 additional trees on the south side of the street if they were permitted to remove the large pine tree. Weeping flowering cherry to be installed in parking lot and in rear patio.

### Lighting:

- 3 parking lot lights proposed, and 1 wall mounted wall on the north face of the building.

### Waivers

- Pursuant to Section 1259.05(B), the Planning and Zoning Commission has the ability to waive setback requirements. The applicant has not requested any waivers with the current proposal.

### **Staff Review:**

*The following review does not constitute recommendations but merely conclusions and suggestions based on the summary*

### Planning and Zoning:

The Future Land Use Map established by the City of Pataskala Comprehensive Plan (2006) designates this property as Office/Retail/Residential – Mixed Use Area. As the proposed use is for an office, it would be in line with the Comprehensive Plan.

The property in question was rezoned from AG – Agricultural to PRO – Professional-Research Office on July 16, 2007 (Ordinance #2007-3780). A Limitation Text was included as an addendum to the ordinance, and the full ordinance is attached to this staff report. This Limitation Text is law and shall be adhered too.

Staff has reviewed the Application and has drafted a list of Plan Review comments, which is also attached to this staff report. Several of these items are identified below:

#### 1) Landscaping:

- a) The Applicant has proposed installing 5 trees on the north side of Sugar Mill Drive in lieu of having 1 tree per 30' (L2 requirement) on the east and north landscaping screening. Also stated, they would like to match this with 3 additional trees on the south side of the street if they were permitted to remove the large pine tree. Staff would like details on the locations of the 5 new trees, including distance from R.O.W., location of 3 trees on the south side the Applicant stated

in the application, and the location of the large pine tree. However, the he limitation text requires L2 landscaping unless a variance is requested. Staff would also like to note that the property on the north side of Sugar Mill Drive is not owned by the Sugar Mill Homeowners' Association, and permission along with proper documentation must be supplied before permitting.

- b) On the document supplied detailing the Landscaping Plan, the Applicant stated that he would like to install just "well-groomed grass" if PZC will allow. However, the he limitation text requires L2 landscaping unless a variance is requested.
  - c) Pursuant to Section 1259.05(G)(2) the PZC has the ability to approve, approve with modifications, or disapprove Buffer zones with consideration given to recommendations to City Staff. However, the he limitation text requires L2 landscaping unless a variance is requested.
  - d) The 3' high shrub screen required by the L2 landscaping standards along the frontage of Hazelton-Etna Road (SR 310) will be within the 15' R.O.W. dedication. The L2 landscaping shall be relocated on to the applicant's property.
- 2) Signage:
- a) The proposed ground sign is 10' outside the proposed R.O.W., and a maximum of 10' in height, which is in compliance with Section 1295.09(b)(2)(C), however the square footage of the actual sign is not given. The document supplied is also very difficult to read.
- 3) Phasing:
- a) Will the entire parking lot be done with Phase 1? If not, how much will be done with Phase 1, and how much for Phase 2?
  - b) The trash enclosure is shown at two different locations of the Site Plans. Please clarify. Will the proposed enclosure be sufficient for any use that may occupy Phase 2?
  - c) Will the entirety of the landscaping be installed with Phase 1?
  - d) What is the timeline for the construction of Phase 2?
- 4) Limitation Text:
- a) Uses are limited. Insurance Office is permitted, however whatever use occupies Phase 2 must comply with what is listed in the Limitation Text.
  - b) A Traffic Study is required for any change of use, or new construction pursuant to the limitation text. The Applicant shall complete a traffic study which will satisfy the requirements of Section 1259.05.
  - c) Lighting is limited to a maximum height of 28' and shall be cut-off type fixtures pursuant to the Limitation Text. Per the supplied photometric plan, the height is 18.5', however Staff will need more details on the type of lighting proposed to verify compliance with the requirement.

City Engineer:

- No engineering concern with the submitted application
- Provided the application be approved, the Applicant will be required to provide detailed construction plans including erosion control information and drainage calculations for approval prior to beginning construction.

Other Departments and Agencies:

No other comments were received.

**Surrounding Area:**

<b>Direction</b>	<b>Zoning</b>	<b>Land Use</b>
North	R-10 -High Density Residential AG - Agricultural	Vacant (HoA Property) Single-Family Homes
East	AG – Agricultural PDD – Planned Development District	Single-Family Homes Vacant (Hazelton Crossing)
South	AG - Agricultural	Vacant
West	R-10 -High Density Residential	Single-Family Homes

**Department and Agency Review**

- Zoning Inspector – No comments
- City Engineer – See attached
- Pataskala Utilities – No comments
- Police Department – No comments
- Public Service Director – No comments
- West Licking Joint Fire District – No comments
- Southwest Licking School District – No comments

**Modifications:**

Should the Commission choose to approve the applicant’s request, the following modifications may be considered:

1. The applicant shall obtain all necessary permits from the City of Pataskala and the Licking County Building Department prior to construction.
2. The Applicant shall address all comments from Planning and Zoning Staff and the City Engineer
3. The Applicant shall submit a complete set of construction plans, including stormwater calculations, for review and approval by the City Engineer and the Public Service Director.
4. The Applicant shall meet all requirements of Ordinance #2007-3780.
5. The applicant shall provide an eight (8) foot asphalt path or pay a fee-in-lieu pursuant to Section 1117.15.
6. The Applicant shall supply Planning and Zoning Staff with a set of mylar plans upon approval of the Zoning Permit.

**Resolution:**

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

“I move to approve a Transportation Corridor Overlay District Application TCO-19-002 pursuant to Section 1259.07 of the Pataskala Code (“with the following modifications” if modifications are to be placed on the approval).”



## CITY OF PATASKALA PLANNING & ZONING DEPARTMENT

621 West Broad Street, Suite 2A  
Pataskala, Ohio 43062

### TCOD-19-002 Plan Review

August 7, 2019

---

#### Planning and Zoning

The following comments are sections of the Pataskala Code in which the proposal either fails to meet, requires additional information, warrants further review, or simply Staff is providing clarification.

#### General Comments:

- 1) What distance are the trees proposed on the north side of Sugar Mill Drive from the R.O.W.? We will need to ensure that these trees are not within city R.O.W. This property is also not owned by the Sugar Mill HoA. It is owned by PKL Property Management, LLC. Proper approval from them will be required to install the trees there. Please identify the location of the R.O.W. on the north side of Sugar Mill Drive.
- 2) The proposed 3' hedge screen on the frontage of SR 310 will be within the new R.O.W. dedication. This must be moved back outside the R.O.W.
- 3) Will the trash enclosure and trash cans be sufficient for any use that may occupy Phase 2? Also, the two different Site Plans call for different locations of the trash enclosure. On Sheet L-1.1, it is shown in the middle of the rear courtyard. On Sheet 3, and Sheet A-1.2 it is shown to be located directly adjacent to Phase 1. Will Phase 2 have its own trash enclosure? If so, it must be shown.
- 4) There are two separate Site Plans that were submitted. Some of the information given is different on each of the plans. Staff recommends creating one cohesive plan of set of plans that accurately depicts compliance with the Zoning Requirements. For example: one sheet showing the building setbacks, dimensions, etc., one sheet showing the landscaping and tree removal/replacement, one sheet showing utilities, one sheet showing the signage and lighting details, etc.

#### Section 1243 – Professional Research-Office District (PRO)

- 1) 1243.05 – General Requirements of the PRO District.
  - a) 1243.05(A): No buildings shall be erected or enlarged to exceed 35' in height.
    - i) No overall building height was included on the elevations.
  - b) 1243.05(H): All trash and garbage shall be stored in container systems with are enclosed to effectively screen them from view. Screening requirements are in Section 1283.06.
    - i) Screening for trash cans is provided for the Insurance Office in Phase 1. Will this enclosure service Phase 2 also? Will it be enough for whatever use occupies Phase 2?

#### Section 1259 – Transportation Corridor Overlay District

- 1) 1259.05 – Design Standards
  - a) 1259.05(A): One of more of the following traffic safety measures shall be required in an effort to aid access and traffic management:
    - i) Access Road Requirements. Access roads shall be utilized to service commercial development located along the corridor. Such roads will help prevent traffic interruptions on the thoroughfare.

- ii) Left Turn Lanes. Left turn lanes, which provide stacking lanes for those cars preparing to turn left, shall be utilized in an effort to help prevent traffic slow down and traffic hazards.
- iii) Acceleration/Deceleration Lanes. Acceleration/deceleration lanes shall be utilized to help prevent traffic slow-down and general interruptions, thereby avoiding potential traffic hazards.
- iv) Driveway Spacing. Access points shall be separated by a minimum distance of 600 feet (from edge to edge of driveway cuts) along Broad Street (SR 16) and shall be adjusted accordingly for other roads included in the TC based on their given speed limits (National Cooperative Highway Research Program, Access Management Guidelines for Activity Center, Washington, D.C., 1992).
- v) Right-in / Right-out only turns. Points of access that allow only right in/right-out access shall be utilized in an effort to help prevent traffic slowdown and additional points of traffic conflicts.
- vi) Or other traffic safety measures as approved by the City engineers
  - (1) Per Ordinance #2007-3780, the Applicant shall complete a Traffic Study.
- b) 1259.05(B): Setback Requirements: The front yard setback shall be based on the recommended R.O.W. width as outlined in the Master Thoroughfare Plan.
  - i) The setback lines for the north and east side appear to be from the property line, not the R.O.W. line, please revise.
- c) 1259.05(E): New or upgraded utility lines shall be located underground. Please place a note on the site plan stating, "All utilities to be located underground".
- d) 1259.05(F): Sidewalks shall be provided along each developed parcel or upon change of use of an existing developed parcel if a sidewalk does not exist at the time of the development of change in use of the parcel. Sidewalks shall be designed to minimize conflict with motor vehicles and shall be installed pursuant to sidewalk design specifications in Section 1117.15 of the Pataskala Code.
  - i) No sidewalks are provided. Section 1259.05(F) requires the applicant to install sidewalks or a path or pay a fee-in-lieu pursuant to Section 1117.15.
- e) 1259.05(G)(2): Buffer zones shall be approved, approved with modifications or disapproved by the Planning and Zoning Commission with consideration given to recommendations from City Staff.
- f) 1259.05(G)(3): Parking requirements shall be approved, approved with modifications or disapproved by the Planning and Zoning Commission with consideration given to recommendations from City Staff.
- g) 1259.05(G)(4)(a): A minimum distance of 8' shall be maintained between any building, including any walkway immediately adjacent thereto, and the parking area. This space is to be reserved for plant material.
  - i) Please provide a measurement of this distance on the site plan to ensure compliance.

#### Section 1283 – Landscaping and Screening Standards

- 1) 1283.03 – Tree Preservation and Replacement
  - a) 1283.03(B)(2): Any tree that is 8" caliper or more at 5' above ground that is being removed during site development must be mitigated at an appropriate ratio determined by table 1283.03-01.
    - i) It appears only 1 tree is being removed (18" Alder). This would be a 4:1 ratio if using native trees from Table 1283.03-01, or a 5:1 ratio if using trees not listed in the table. Identify

which trees are being used towards the replacement ratio, along with which species they are being replaced by.

- 2) 1283.04 – Tree Replacement Exemptions
  - a) A developer may contribute into a fund in lieu of replacements.
- 3) 1283.06 – Landscaping and Screening Standards
  - a) 1283.06(3): Low Screen (L2): enough low shrubs to form a continuous 3' high screen, and one tree per 30'. A 3' high berm or stone wall may be substituted for the shrubs.
  - b) 1283.06(4): High Screen (L3): enough shrubs to form a continuous 6' high screen, and one tree per 30'. A 6' high wall may be substituted for the shrubs.
  - c) 1283.06(6): High Berm (L5): A berm between 4' and 6' high. If the berm is less than 6' high, low shrubs that meet the L2 standard shall be planted on top of the berm to assure overall height is 6'. In addition, one tree per 30'.
  - d) 1283.06(13): Landscaping for Trash or Waste Disposal Unit:
    - i) 1283.06(13)(b): A continuous planting, hedge, fence, or wall of earth with an opacity of 100% shall be required to screen and trash receptacles. The average height of the screening material shall be 1' more than the height of the enclosed structure, but shall not be required to exceed 10'.
      - (1) No details provided on the height of the proposed screening.
- 4) 1283.07 – Application of Landscaping Standards
  - a) 1283.04(B)(PRO): Front yard – L2, Side Yard – L2(L3 or L5 if abutting a residential use), Rear Yard – L2(L3 or L5 if abutting a residential use).

#### Section 1291 – Parking and Loading

- 1) 1291.03 – Lighting
  - a) 1291.03: Any non-residential parking area with ten or more spaces shall be illuminated at night to provide an average intensity of ½ foot candles of light as measured at the paving surface area. All light shall be reflected or shielded as to prevent glare and creation of a nuisance on adjoining properties.
    - i) Locations of lights are identified, and photometric plan identifies average intensity of 1.2 foot candles which is sufficient to meet the above requirement.
- 2) 1291.16 – Required Number of Off-Street Parking Spaces
  - a) 1291.16(Commercial)(15): requires 1 parking space for each 400 s.f. of gross floor area.
    - i) Phases 1&2 total 5,860 s.f., which shall require a total of 15 parking spaces. 14 are provided in Phase 1, with one Handicap Accessible space. Provisions for a future 6 spaces are provided in Phase 2. As Phase 1 is 2,930 s.f., it is required to have 8 spaces total. The proposed parking will meet this requirement throughout construction.

#### Section 1295 – Signs

- 1) 1295.09(b)(2)(B): One wall sign shall be permitted, not to exceed 32 sqft.
  - a) Wall sign is O.K.
- 2) 1295.09(b)(2)(C): One freestanding ground sign shall be permitted, not to exceed 32 sqft. and no greater than 10' in height, and located at least 10' from the R.O.W.
  - a) Height and location of ground sign is O.K., however no measurements for the sign face were provided. Please include these. In addition, the print out of the sign is very difficult to read.

### Limitation Text

When this property was rezoned from AG – Agriculture to PRO – Professional-Research Office, a Limitation Text was applied by City Council. This limitation text is law and must be adhered too, there are additional requirements that must be met:

- 1) Use – Only the following uses shall be permitted, the insurance office is one of them, however as the plan is for the 2<sup>nd</sup> phase to be occupied by another tenant, that tenant must fall under one of these uses:
  - a) Medical or Medical-related offices, offices or clinics
  - b) Law offices
  - c) Insurance and/or real-state offices
  - d) Banks and Finance Establishments
  - e) Utility company offices
  - f) Research facilities and/or laboratories
  - g) Government offices
  - h) Planning, Architect or Engineering offices
  - i) Veterinary offices and clinics, excluding facilities for outside board or exercising of animals.
- 2) Architectural Commitments:
  - a) Tinted glass shall be permitted. Reflective or mirrored glass shall be prohibited.
    - i) When it comes time for Zoning Permit, the type of glass should be mentioned.
  - b) Prefabricated metal buildings, untreated masonry block structures, poured concreted exterior walls or buildings featuring an exterior finish entirely of glass are prohibited.
    - i) From the elevations supplied, this will not be an issue. Just keep it in mind.
  - c) Pitched, mansard, or flat roofs shall be permitted. All flat roofs shall be required to have a parapet and/or means or screening all rooftop mechanical equipment from view at ground level. All rooftop screens must be consistent with and harmonious with the building's façade and character.
    - i) Again, from the elevations supplied this will not be an issue, just something to keep in mind.
- 3) Landscaping Standards:
  - i) Sidewalks shall be provided according to City of Pataskala design standards.
    - (1) No Sidewalks are provided.
- 4) Traffic Commitments:
  - a) Any changes in use of the property will require that a traffic study be performed, prior to occupancy, to determine any and all traffic improvements required.
  - b) Any new construction, either additions or completely new structures to be erected on the property will require that a traffic study be performed, prior to development, to determine any and all traffic improvements required by the City.
- 5) Lighting/Utility Commitments:
  - a) All lighting shall be cut-off type fixtures (downcast lighting) and shall minimize light spillage to off-site parcels. Buildings and landscaping at entry locations may be up-lit or down-lit provided landscaping lighting minimizes spill over into public rights-of-way.
    - i) The photometric plan supplied meets the requirements of Section 1291.03, however, the limitation text requires downcast lighting to minimize light spillage. We will require additional information on the type of light fixtures to be used to ensure that the above requirement is met.
  - b) All external outdoor lighting fixtures shall be from the same or similar manufacturer's type to ensure style and light quality compatibility.

- c) Parking lot lighting standards shall not exceed 28' in height.
    - i) Parking lot lighting is identified as being 18.5', which satisfies the above requirement.
  - d) All new or relocated utility lines shall be installed underground.
- 6) Site Drainage:
- a) Site drainage shall be from back to front into existing ditch.
    - i) Something to keep in mind with construction plans.



**CITY OF PATASKALA, OHIO**

**ORDINANCE NO. 2007-3780**

Passed, July 16, 2007

**AN ORDINANCE TO REZONE PROPERTY LOCATED AT 7856 HAZELTON-ETNA ROAD FROM THE AG, AGRICULTURAL DISTRICT (AG) ZONING CLASSIFICATION TO THE PROFESSIONAL-RESEARCH-OFFICE DISTRICT (PRO (L)) ZONING CLASSIFICATION WITH LIMITATION TEXT.**

WHEREAS, the property owner, Mr. Robin Samsal, filed an application to change the current zoning of his property located at 7856 Hazelton-Etna Road, Pataskala, Ohio from the Agricultural District (AG) zoning classification to the Professional-Research-Office District (PRO(L)) zoning classification with limitation text attached, and upon hearing the City Planning and Zoning Commission approved the change in zoning requested by the property owner, and

WHEREAS, Council hereby determines that all applicable procedures required by Chapter 1217 of the Codified Ordinances have been followed, and that notice was given and a public hearing was held as required by Section 1217.11 of the Codified Ordinances, and Council hereby adopts the recommendation of the City Planning Commission as provided for in Section 1217.13 of the Codified Ordinances;

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PATASKALA, LICKING COUNTY, OHIO, A MAJORITY OF THE MEMBERS CONCURRING:

Section 1. The property located at 7856 Hazelton-Etna Road, Pataskala, Ohio, belonging to Mr. Robin Samsal is hereby rezoned to the Professional-Research-Office District (PRO(L)) zoning classification with Limitation Text attached hereto as Exhibit "A" and made a part hereof, from the Agricultural District (AG) zoning classification, subject to all of the following conditions and limitations, which were recommended by the Planning and Zoning Commission, and which shall become part of the zoning of the property:

- A. That the first addendum be included in the Limitation Text (said First Addendum shall be incorporated as Exhibit "B" attached hereto and made a part hereof).

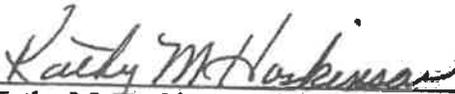
And that this Ordinance shall be amended, by a motion that was passed by City Council on June 18, 2007 as follows:

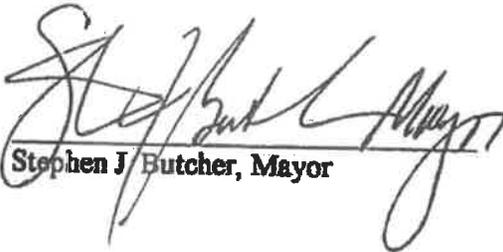
- A. To add 50 feet of right-of-way.

**Section 2.** The Official Zoning Map of the City of Pataskala, Ohio, is hereby amended and revised by changing the zoning of the property to the Professional-Research-Office District (PRO(L)) zoning classification with conditions and limitation text set forth in Section 1 of this Ordinance. The City Administrator is hereby directed to make this change on the Official Zoning Map in accordance with the provisions of this Ordinance.

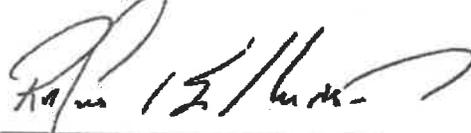
**Section 3.** This Ordinance shall become effective from and after the earliest period allowed by law.

ATTEST:

  
Kathy M. Hoskinson, Clerk of Council

  
Stephen J. Butcher, Mayor

Approved as to Form

  
Rufus Hurst, Law Director

**APPLICATION FOR ZONING CHANGE, CITY OF PATASKALA**

March 2, 2007

Robin Samsal  
191 Brandon Drive  
Pataskala, Ohio 43062

Property address: 7856 Hazelton-Etna Road, Pataskala, Ohio 43062  
Existing Zoning District: AG-Agricultural, RR-Rural Residential  
Proposed Zoning District: PRO-Professional-Research-Office

**Introduction:**

The property is approximately 1.24 acres with a single family home and detached garage, currently rented as residential. To the north and west side connecting property is zoned (L) R10, High Density Residential. On the south and east side it is zoned AG-RR Agricultural, Residential.

Proposed use of property is PRO-Professional-Research-Office as stated in Chapter 1243 of Pataskala Zoning Code as outlined below:

1. Medical or Medical-related offices, offices or clinics
2. Law offices
3. Insurance and/or real estate offices
4. Banks and Finance Establishments
5. Utility company offices
6. Research facilities and/or laboratories
7. Government offices
8. Planning, Architect or Engineering offices
9. Veterinary offices and clinics, excluding facilities for outside board or exercising of animals

**Development Standards:**

1. Lot Area and Width, Setbacks and Yards, Lot Capacity, Parking and Loading Requirements, Signage and Bulk requirements shall comply with Section 1243, General Requirements of the PR district of the codified Ordinances of Pataskala Zoning Code.

2. Architectural Commitments:

- a. Buildings shall be sited with the longest and/or predominant building façade parallel to the major adjacent street.
- b. Buildings design shall be with the same quality of finish on all facades/elevations. Additional building, whether attached or detached, shall be of similar design, materials and construction.
- c. Building materials shall be limited to the following:
  - i. Brick
  - ii. Natural or cultured stone
  - iii. Clapboard siding
  - iv. Precast
- d. Synthetic materials shall be permitted above ground story and allowed on the ground level only as an accent feature (i.e. engaged columns, cornices, pediments, etc.)
- e. Tinted glass shall be permitted. Reflective or mirrored glass shall be prohibited.
- f. Prefabricated metal building, untreated masonry block structures, poured concrete exterior walls or buildings featuring an exterior finish entirely of glass are prohibited.
- g. Pitched, mansard or flat roofs shall be permitted. All flat roofs shall be required to have a parapet and/or means or screening all rooftop mechanical equipment from view at ground level. All rooftop screens must be consistent with and harmonious to the building's facade and character.

3. Building Height Requirements:

Any structures built shall have a maximum height of 35 feet or less, unless a variance is granted.

**APPLICATION FOR ZONING CHANGE, CITY OF PATASKALA**

**7. Landscaping Standards:**

- a. **Landscaping shall follow the I.2 Standards in the Pataskala Zoning Code unless a variance is granted.**
- b. **Sidewalks shall be provided according to City of Pataskala design standards.**
- c. **Tree Preservation: Reasonable and good faith efforts will be made to preserve existing trees and tree rows occurring within the parcels. Consideration will be given to laying out streets, lots, structures and parking areas to avoid the unnecessary destruction of these wooded areas. Standard tree preservation practices shall comply with Section 1283.03 of the codified Ordinances of Pataskala.**

**8. Traffic Commitments:**

1. **Any change in use of the property will create the need for a future traffic study and potentially revisions to the existing access.**
2. **Any new construction, either additions or completely new structures, will create the need for a traffic study and potentially revisions to the existing access.**

**I believe that the proposed rezoning of the property is consistent with the compressive plan of the area and will be an asset to the community. A small professional business would have little impact on the surrounding properties. There will be a proposed drive connecting the property with Sugar Mill Drive. At this time, the property is for sale and the exact use is not known.**

**Robin G. Samsal**

4. Lighting/Utility Commitments:

- a. All lighting shall be cut-off type fixtures (down lighting) and shall minimize light spillage to off-site parcels. Buildings and landscaping at entry locations may be up-lit or down-lit provided landscape lighting minimizes spill over into public rights-of-way.
- b. All external outdoor lighting fixtures shall be from the same or similar manufacturer's type to insure style and light quality compatibility.
- c. Parking lot lighting standards shall not exceed 28 feet in height.
- d. All new or relocated utility lines shall be installed underground.
- e. All site utility equipment shall be screened from view from ground level by wall, fence or landscaping material utilizing the same material or character of surrounding buildings.
- f. All new utility and transmission lines shall be located underground and be designed and located, including those located along the rear property line, in such a manner that they will have minimum adverse visual and physical impact on the roadside.

5. Trash and Garbage Control:

All storage areas and trash storage receptacles shall be totally enclosed by structures or opaque fences on four sides; screened from adjacent uses, and be located behind building(s). Garbage areas shall meet the requirements of section 1283.06.

6. Loading Areas:

Loading areas shall be located behind building(s) and screened from adjacent unlike uses.

**FIRST ADDENDUM**

The following item is added to the Limitation Text:

- a. **Commercial loading areas shall be located behind building(s) and screened from adjacent unlike uses.**

The following items are to be added under Section 8, Traffic Commitments:

1. **The language is modified to read: "Any changes in use of the property will require that a traffic study be performed, prior to occupancy, to determine any and all traffic improvements required by the City".**
2. **The language is modified to read: "Any new construction, either additions or completely new structures to be erected on the property will require that a traffic study be performed, prior to development, to determine any and all traffic improvements required by the City".**

The following is added:

**Site Drainage – Drainage of Property, Drains:**

1. **From back to front into existing ditch, which is currently being re-worked due to street widening from Sugarmill Development.**

*Revised.*

**From:** [Scott Haines](#)  
**To:** [Jack Kuntzman](#)  
**Cc:** [Alan Haines](#); [Scott Fulton](#); [Jim Roberts](#); [Lisa Paxton](#)  
**Subject:** August PZC Meeting  
**Date:** Sunday, July 21, 2019 2:07:24 PM

---

Jack

Hull and Associates has reviewed the agenda items for the PZC Meeting. We offer the following comments:

TCOD-19-002

1. We have no engineering concern with the submitted application.
2. Provided the application be approved the applicant will be required to provide detailed construction plans including erosion control information and drainage calculations for approval prior to beginning construction.

Thank you for the opportunity to review these items and please contact us if there are any questions on our comments or if we can help in any other way.

**Scott R. Haines, P.E., CPESC**

Project Manager

**HULL** | Newark, Ohio

Environment / Energy / Infrastructure

o: 740-344-5451 | f: 740-344-8659

Follow Hull on [Facebook](#) & [LinkedIn](#)  
[web](#) | [directions to offices](#)



# CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

## TRANSPORTATION CORRIDOR OVERLAY DISTRICT APPLICATION

*(Pataskala Codified Ordinances Chapter 1259)*

Property Information	
Address: 7856 Hazelton Etna Rd, Pataskala, Oh	
Parcel Number: 064-152988-01.000	
Zoning: <b>PRO</b>	Acres: 1.24
Water Supply:	
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking
<input type="checkbox"/> On Site	
Wastewater Treatment:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking
<input type="checkbox"/> On Site	

Staff Use
Application Number: <b>TL0D-19-002</b>
Fee: <b>\$300.00</b> <b>\$2,500 engineer</b>
Filing Date: <b>7-5-19</b>
Hearing Date: <b>8-7-19</b>
Receipt Number:

Applicant Information		
Name: Jeffrey Williamson		
Address: 1025 Lectric Lane		
City: Zanesville	State: Oh	Zip: 43701
Phone: (740) 704-1147	Email: jwilliamson@williamsoninsurance.net	

Documents
<input checked="" type="checkbox"/> Application
<input checked="" type="checkbox"/> Fee
<input checked="" type="checkbox"/> Site Plan
<input checked="" type="checkbox"/> Development Plan
<input checked="" type="checkbox"/> Deed
<input checked="" type="checkbox"/> Area Map

Property Owner Information		
Name: J&CW Ent.		
Address: 1025 Lectric Lane		
City: Zanesville	State: Oh	Zip: 43701
Phone: (740) 704-1147	Email: jwilliamson@williamsoninsurance.net	

Transportation Corridor Overlay District Information
Describe the Project:
We are asking for approval for a 2 unit office building which may be built in two stages depending upon financing arrangements; the first half to be occupied by an insurance agency, the second half to resemble the first and to be available for rent to a party that qualifies under the zoning requirements.

## Documents to Submit

**Transportation Corridor Overlay District Application:** Submit one (1) copy of the Transportation Corridor Overlay District application.

**Site Plan:** Submit one (1) copy (unless otherwise directed by staff) of a site plan to scale including the following:

- The boundaries and dimensions of the lot.
- The size and location of existing and proposed structures.
- The proposed use of all parts of the lot and structures.
- All reserve parcels and anticipated development phases.
- The use of land and location of structures on adjacent property within 100 feet of the property line.
- Existing trees that are six (6) inches or greater in diameter measured five (5) feet above the ground located within the setback.

**Development Plan:** Submit one (1) copy (unless staff requests additional) of a development plan including the following:

- Structures: All proposed structures shall be located, showing square footage for each structure, expected entrance(s), service, and pedestrian areas for each phase of the development.
- Traffic concept: All points of ingress and egress onto public roadways and the overall traffic distribution scheme shall be shown, indicating traffic flow patterns and traffic control points. The requirements for a traffic study and the need for "Traffic Safety Measures" shall be at the discretion of the City Engineer and approved, approved with modifications or disapproved by the Planning and Zoning Commission.
- Parking layout: A parking layout must be shown to include access points and expected movement for all transportation modes through and between separate parking lot areas and expected pedestrian access routes from parking areas and bus stops to structures.
- Landscaping: All proposed site landscaping, screening, and buffering shall be indicated as to type and size of material to be used, proposed locations, berming and other features in accordance with Section 1259.05(G).
- Proposed location, dimensions, and design of signs.
- Elevations of proposed structures or expansion of existing structures including dimensions and materials.

**Deed:** Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at [www.lcounty.com/rec](http://www.lcounty.com/rec).

**Area Map:** Submit one (1) copy of an area map from the Licking County Engineer's office showing the property and surrounding area. Area maps can be obtained at [www.lcounty.com/taxparcelviewer/default](http://www.lcounty.com/taxparcelviewer/default).

## Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this Transportation Corridor Overlay District request.

Applicant (required):

Date:

06/21/2018

Property Owner (required):

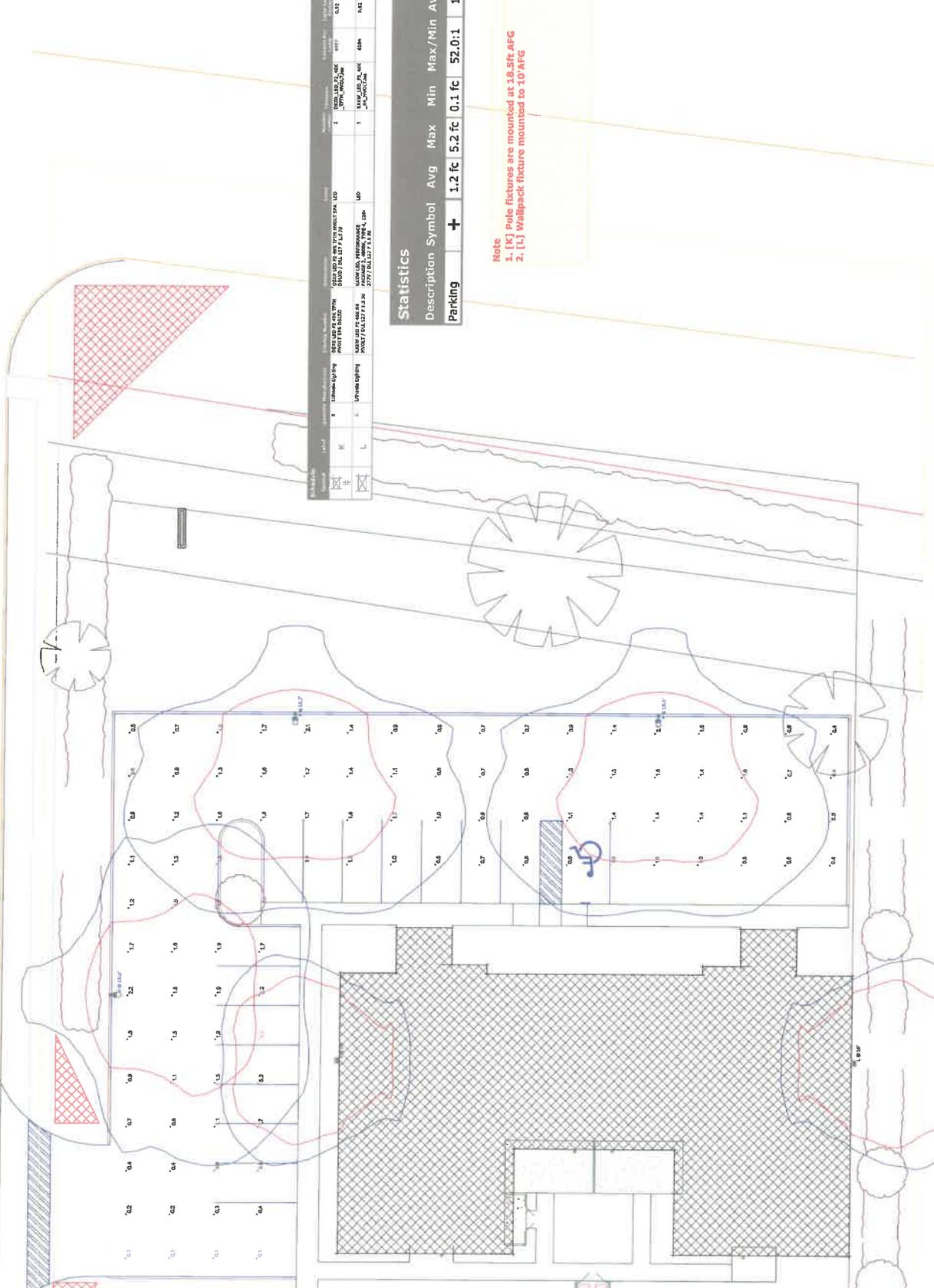
Date:

06/21/2018

**Williamson Insurance**  
**Landscape Plan (Amended)**  
**7856 Hazelton Etna Rd**  
**Pataskala, Oh**

- **West side of lot between development and building: 6 Ft. Arborvitae**
- **South Side: by farmland: Red Maple as required with a hedge of 3 ft Cyprus Weeping Threadleaf or if you will allow just well-groomed grass.**
- **North Side: Hedge, Gold Mound Spirea possible removal of a diseased fir tree no replacement, mulched south of sidewalk**
- **Opposite side of street on city right of way: 5 trees to provide a pleasing aesthetic to the entrance to the sub-division: Prairie Fire Crabtree or alternative flowering or colorful as required by planning. We would like to match that on the south side of the street with 3 trees if we can be permitted to remove the large pine tree. We are suggesting three because the entrance to the parking lot will make it impossible to place 2 trees.**
- **East side facing 310: 3 foot berm with flowering or low hedge mulched around the sign.**
- **On parking lot mulched weeping flowering cherry.**
- **In rear by patio weeping flowering cherry.**





Item	Description	Quantity	Unit	Notes
1	3' LUMINA LIGHTING MAXIMUM PERFORMANCE POLE FIXTURE MOUNTED TO 10' AFG	1	Each	
2	3' LUMINA LIGHTING MAXIMUM PERFORMANCE WALLPACK FIXTURE MOUNTED TO 10' AFG	1	Each	

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.2 fc	5.2 fc	0.1 fc	52.0:1	12.0:1

- Note**
- [FK] Pole fixtures are mounted at 18.5ft AFG
  - [L] Wallpack fixture mounted to 10' AFG

ES&C  
Date: 9/21/2019

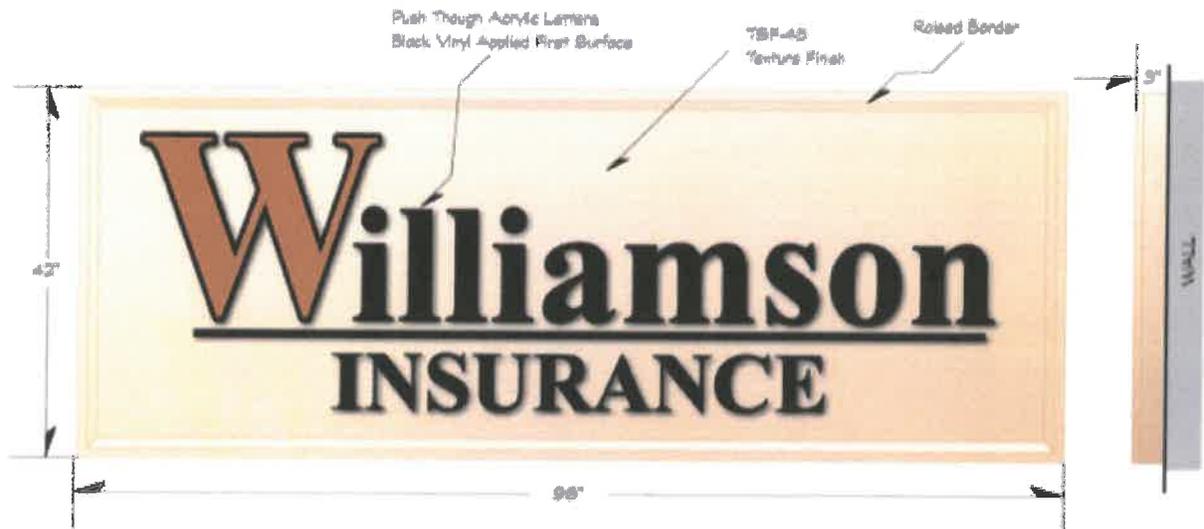
and may not be reproduced or copied without our written consent. COPYRIGHT  
 by XPRESSIVE GRAPHIX- ALL RIGHTS RESERVED

Monument Sign • Williamson Insurance • Pataskala • Ohio

**A** Push Through Letters - Illuminated w/LED's  
 For Production

SPECIFICATIONS:

Fabricate one (1) Type A

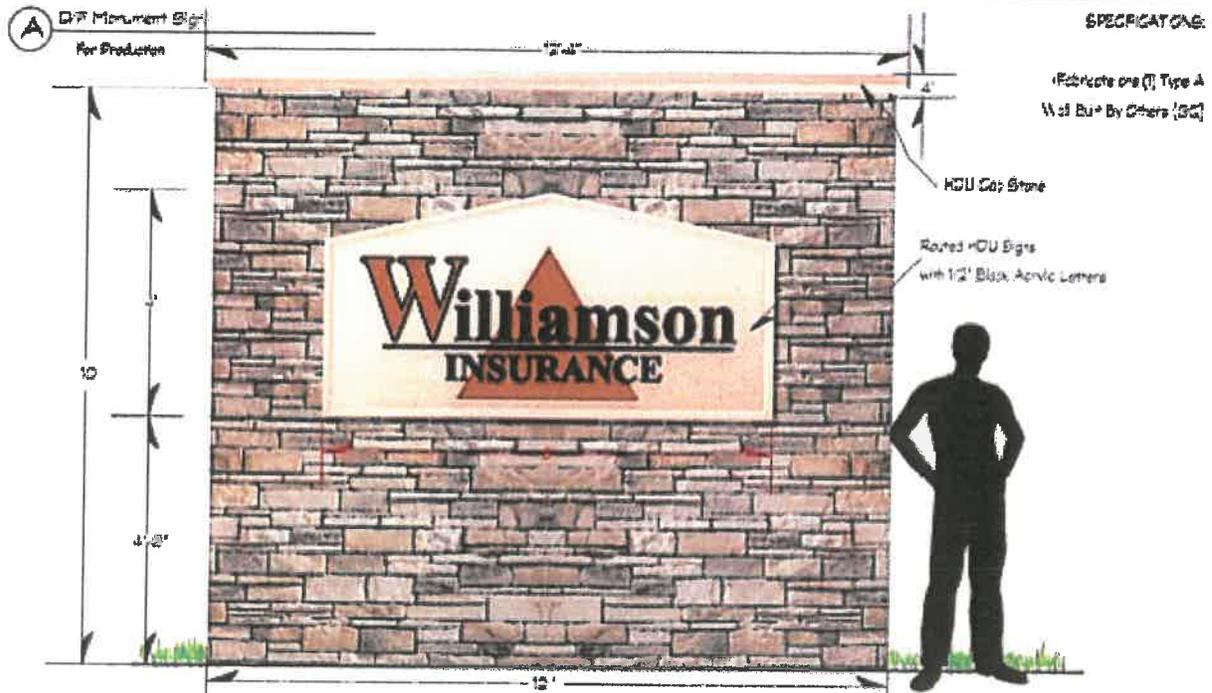


Client Name: Williamson Insurance 1958 Hasbrouck Drive Rd SW Pataskala, Ohio Order #6648	Print Date: 5-30-2018 Last Revised: Drawing: 1	<input type="checkbox"/> Letter It <input type="checkbox"/> Approved w/ changes <input type="checkbox"/> Reprint of changes  Client Approval: _____	Sales Rep: Josh Designer: TR
--	--	---	---------------------------------------

(740) 452-6604 • Fax: (740) 452-6664 • [www.expressivegraphix.com](http://www.expressivegraphix.com)

© COPYRIGHT 2018 BY XPRESSIVE GRAPHIX. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF XPRESSIVE GRAPHIX, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM XPRESSIVE GRAPHIX.

Side of Building



**SPECIFICATIONS:**

(Fabricate one (1) Type A  
W of Bu\* By Others (30)



Client Name: Williamson Insurance 7855 Hazelton-Ema Rd SW Potosi, MO Order #343	Start Date: 5-30-2019 Last Revision: Drawing: 1	<input type="checkbox"/> Lead It <input type="checkbox"/> Approved w/ changes <input type="checkbox"/> Reprint w/ changes _____ Client Approval	Sales Rep: Josh Designer: TR
---	---	---	---------------------------------------

(740) 452-6604 • Fax: (740) 452-6654 • [www.expressivegraphics.com](http://www.expressivegraphics.com)

© COPYRIGHT 2016 BY EXPRESSIVE GRAPHIC. ALL RIGHTS RESERVED AND THE SOLE PROPERTY OF EXPRESSIVE GRAPHIC. NO PART MAY BE REPRODUCED IN ANY FORM OR MANNER WITHOUT WRITTEN PERMISSION FROM EXPRESSIVE GRAPHIC.

Street Sign

TRANSFERRED  
Date October 10, 2018  
Michael Smith  
Licking County Auditor  
SEC. 319.202 COMPLIED WITH  
MICHAEL L. SMITH, AUDITOR  
BY MS 455.00

CONDITIONAL APPROVAL FOR THIS TRANSFER  
CORRECTION REQUIRED FOR NEXT TRANSFER  
JARED N. KNEER, LICKING COUNTY ENGINEER

*Am/S. 10-10-18.  
Poor beginning part*



201810100021264  
Pg:3 \$36.00 T20180014767  
10/10/2018 3:08 PM MFP FIRST OHIO  
Bryan A. Long Licking County Recorder

### WARRANTY DEED

File # 38932

KNOW ALL MEN BY THE PRESENTS THAT; Robin G. Samsal aka Robin Samsal, Married, Grantor(s), for Ten Dollars (\$10.00) and other good and valuable consideration paid, grant(s), with general warranty covenants, to J & CW Enterprises, LTD, Grantee, whose Tax Mailing Address will be PO Box 2278 Zanesville, OH 43702-2278.

The following described real property:

SEE ATTACHED EXHIBIT "A"



FIRST OHIO TITLE INSURANCE BOX

Parcel Number: 064-152988-.01-000  
Known as: 7856 Hazelton-Etna Rd.  
Pataskala, OH 43062

Subject to covenants, conditions, restrictions, easements and zoning ordinances, if any, contained in prior instruments of record.

Excepting therefrom taxes and assessments if any, now a lien and thereafter due and payable.

Prior Instrument Number: Instrument 200507190021789, of the Records of the office of the Recorder, Licking County, Ohio

Cheryl A Samsal, Spouse of Grantor, hereby releases all rights of Dower therein.



0115PA00800000022000

Witness his/her/their hand(s) this Oct. 3, 2018  
~~31st day of May, 2017~~  
nd Cas

Robin G. Samsal  
Robin G. Samsal  
AKA ROBIN SAMSAL

Cheryl A Samsal  
Cheryl A Samsal

State of Ohio )  
County of Licking ) SS

**BEFORE ME**, a Notary Public in and for said County and State, personally appeared the above named Robin G. Samsal,\* and Cheryl A Samsal Spouse of Grantor who acknowledged that they/he/she did sign this Warranty Deed and the same is their/his/her free act and deed.

\*AKA ROBIN SAMSAL

In Testimony Whereof, I have hereunto set my hand and official seal, this Oct. 3, 2018 B.P.  
~~31st day of May, 2017~~

Beverly Bogear  
Notary Public  
Commission Expiration  
Date: 3/18/2021

This instrument was prepared by:

Thomas J. Olix, Attorney at Law  
Olix & Associates, Co., L.P.A.  
2131 Pinebrook Road  
Columbus, Ohio 43220

File # 38932



Beverley Bogear  
Notary Public  
In and for the State of Ohio  
My Commission Expires  
March 18, 2021

**EXHIBIT "A"**

**Situated in the State of Ohio, County of Licking, and in the City of Pataskala:**

**Being located in Lot No. 5 of Quarter Section 4, Township 1, Range 15, United States Military Lands, and being 1.241 acres of the Paul and Vona Clark 39.85 acre tract of record in Deed Book 701, page 117, all references being to records of the Recorder's Office, Licking County, Ohio, and being more particularly bounded and described as follows:**

**Beginning at a point in the centerline of State Route 310, at the southeasterly corner of the Clark 39.85 acre tract, and being also the northeasterly corner of the Robert E. King 24.90 acre tract:**

**thence along the southerly line of said Clark 39.85 acre tract, being also the northerly line of said King 24.90 acre tract, North 89° 18' 42" West, (passing an iron pin at 55.46 feet), 257.96 feet to an iron pin.**

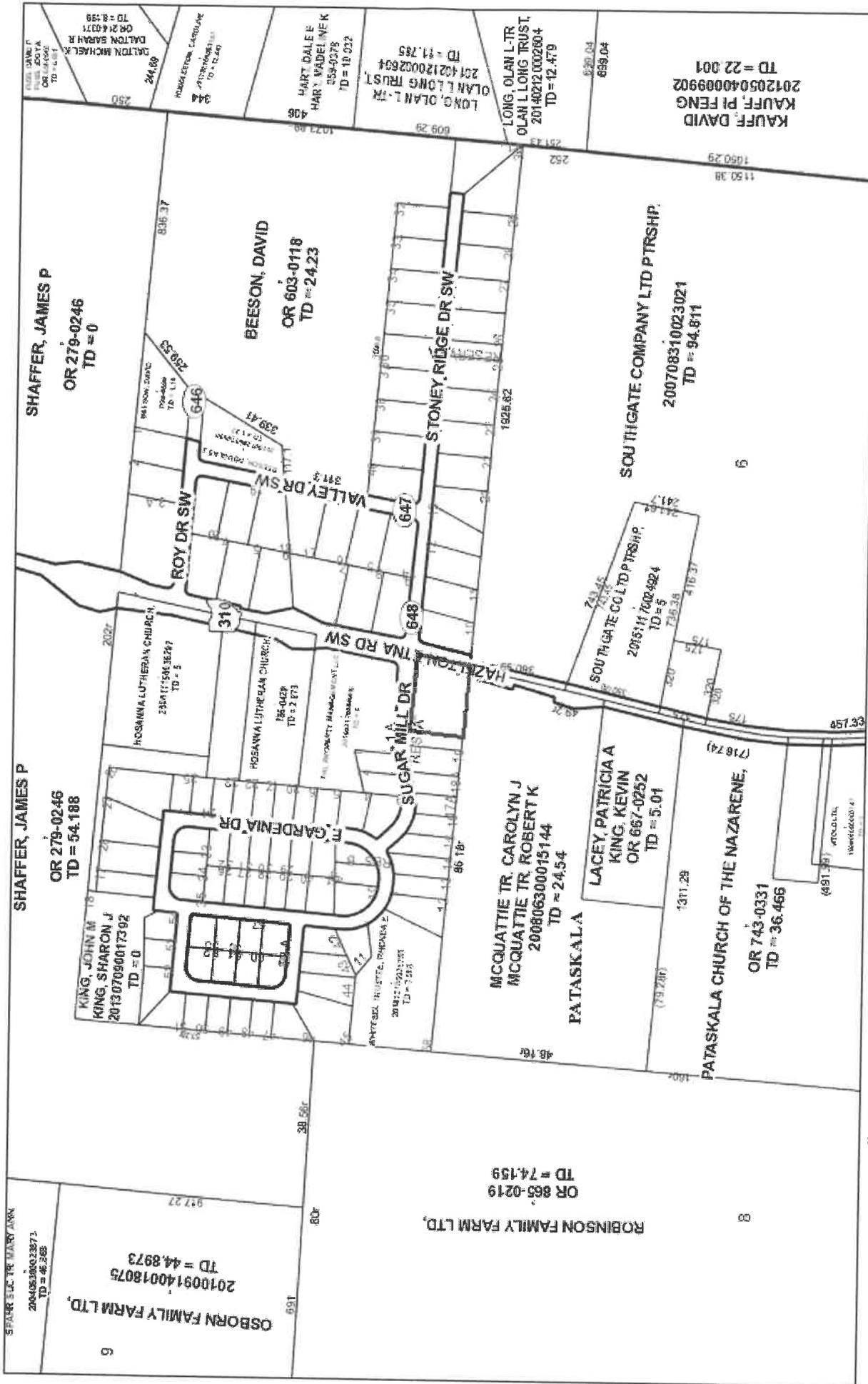
**thence North 0° 41' 18" East, 200.0 feet to an iron pin;**

**thence South 89° 18' 42" East (passing an iron pin at 233.10 feet), 282.07 feet to a point in the centerline of State Route 310;**

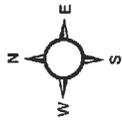
**thence along the centerline of State Route 310 being the arc of a curve to the left, (Radius-11459.20 feet, Sub-delta-1° 00' 26"), a chord bearing and distance of South 7° 33' 45" West 201.46 feet to the place of beginning, containing 1.241 acres, more or less, of which 0.241 acre lies within the westerly right-of-way line of State Route 310, leaving a net acreage of 1.00 acre, more or less.**

# Property Report

Address	
N/A J & CW ENTERPRISES LTD -- 7856 HAZELTON-ETNA RD SW	
Engineer's Pin	Owner
0115PA0080000022000	N/A J & CW ENTERPRISES LTD
Tax Acreage	Deed Acreage
1.241	0
	Auditor's PIN
	064-152988-01.000
	Official Record
	201810100021264



June 21, 2019



LICKING COUNTY TAX MAP

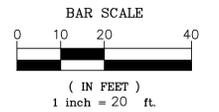
For Construction

ADDENDUMS

ADDENDUM NO.	ADDENDUM DATE	ISSUED BY

UNDERGROUND UTILITIES

CONTACT BOTH SERVICES  
CALL TWO WORKING DAYS  
**BEFORE YOU DIG**  
CALL  
1-800-362-2764  
(TOLL FREE)  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS  
MUST BE CALLED DIRECTLY  
OIL & GAS PRODUCERS PROTECTIVE  
SERVICE CALL 1-800-925-0988



REVISIONS

REV. NO.	DESCRIPTION

DRAWN  
CHECKED  
Job No. 19076

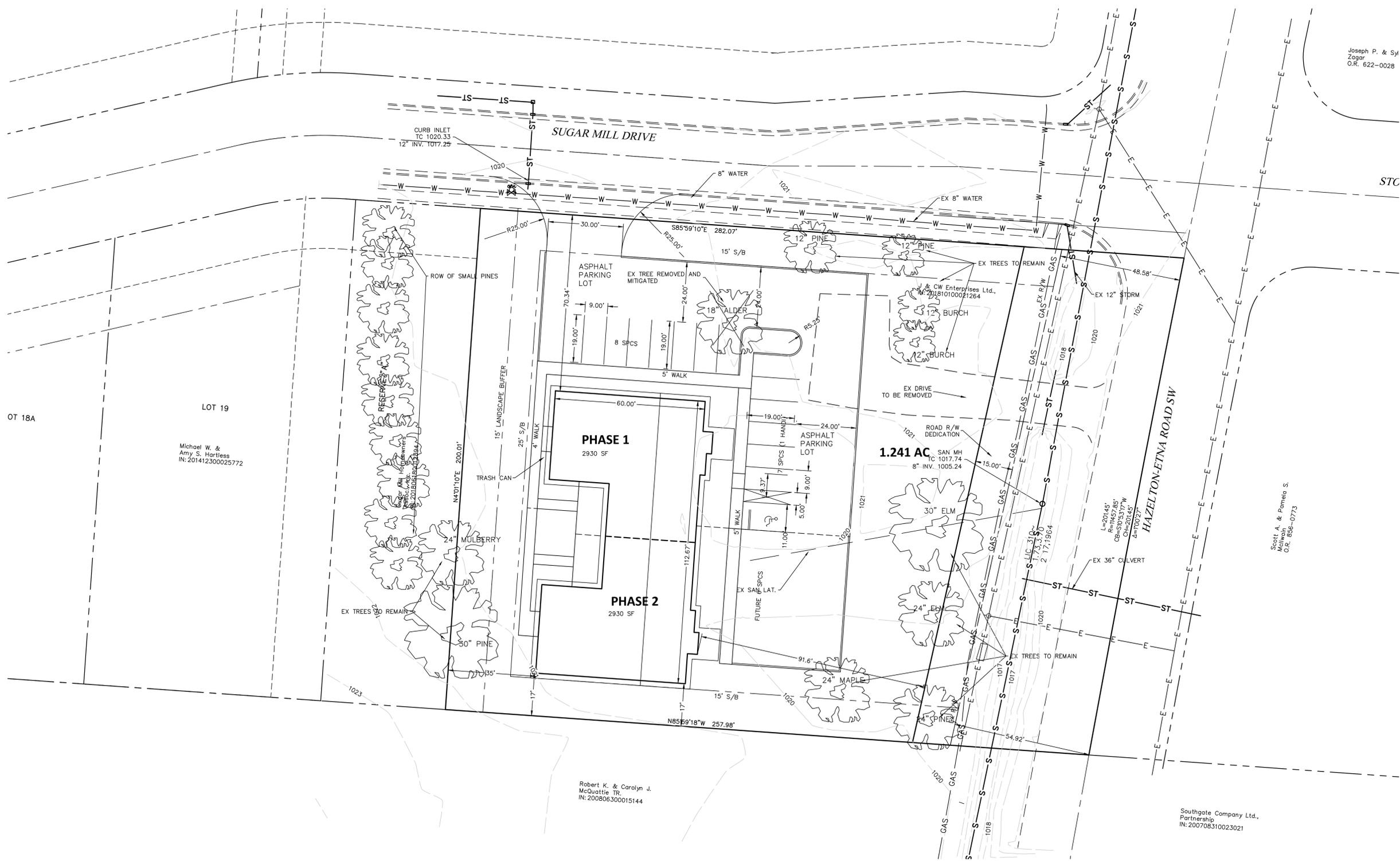
CITY OF PATASKALA, LICKING, OHIO

*Williamson Insurance Office*  
Project 7856 Hazelton-Etna

Sheet Name *SITE PLAN*

Scale: 1"=20' Date: 6/3/2019

*WILLIS ENGINEERING & SURVEYING*  
12512 West Bank Rd  
Milledersport, OH 43046  
(740) 739-4030



Joseph P. & Sy Zagor  
O.R. 622-0028

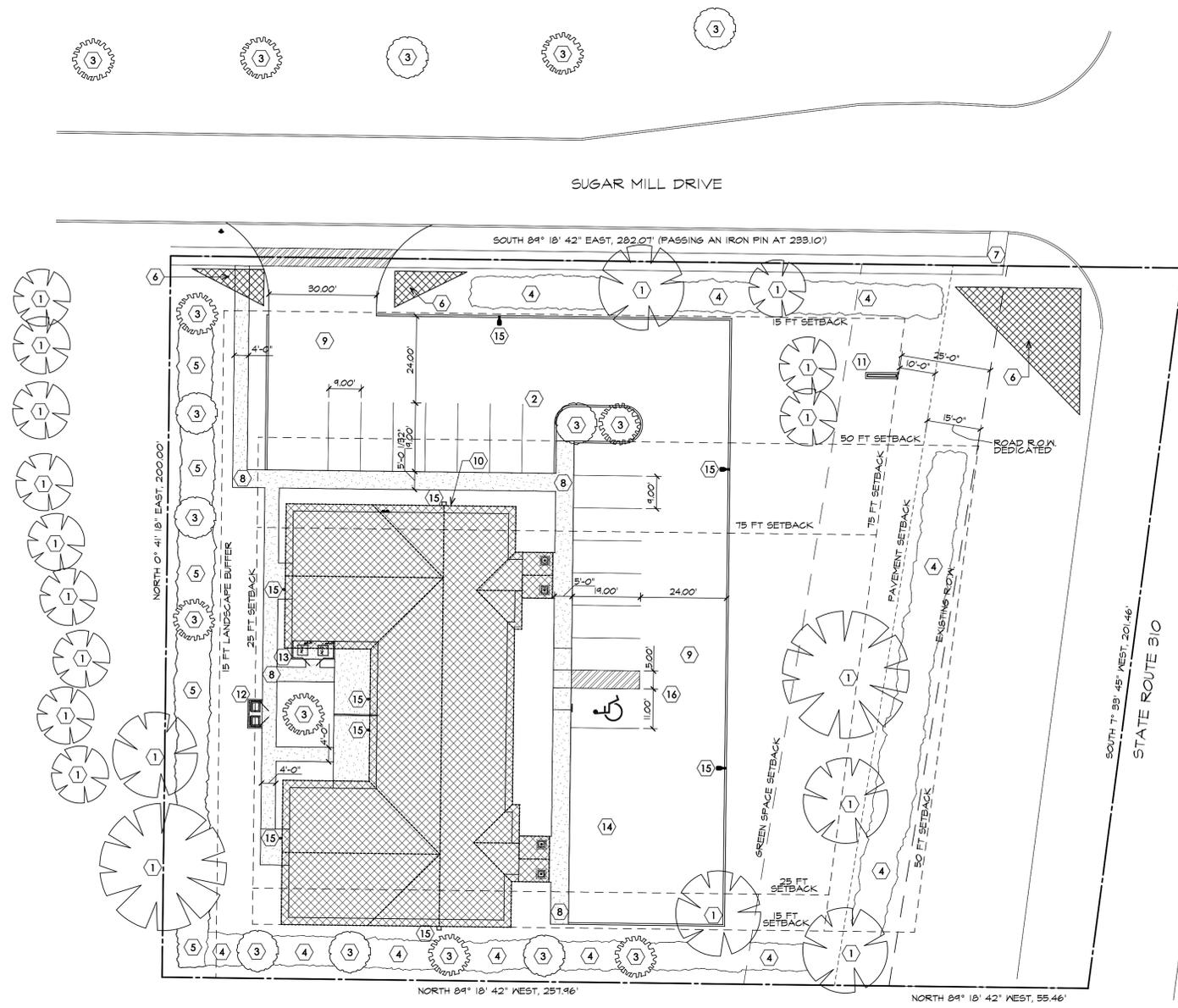
LOT 19  
Michael W. & Amy S. Hartless  
IN: 201412300025772

Robert K. & Carolyn J. McQuattie TR.  
IN: 200806300015144

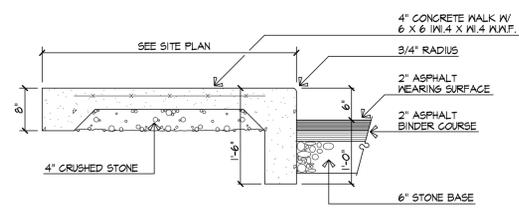
Southgate Company Ltd., Partnership  
IN: 200708310023021

SITE DATA

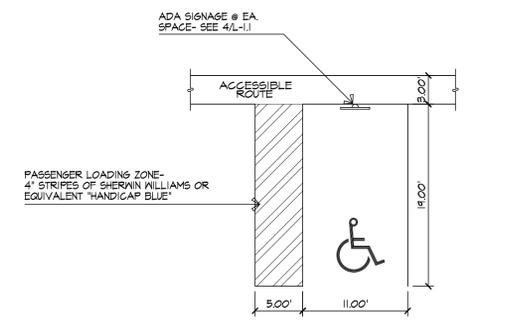
ZONING PRO/TOCD  
ACREAGE 1.241 AC  
P.R.O 0.241 AC  
PROP. R/W DED. 0.070 AC  
NET 0.930 AC  
PROP. BUILDING COVERAGE 0.135 AC  
% COVERAGE = 15  
PARKING LOT COVERAGE 0.365 AC  
% COVERAGE = 39%



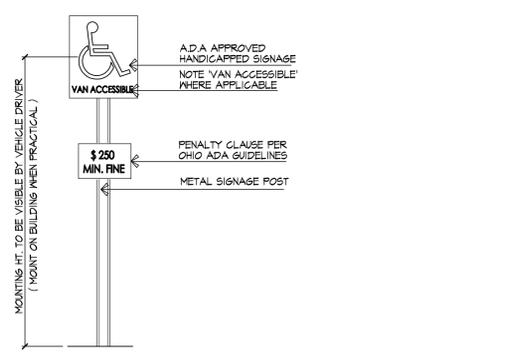
1 SITE PLAN  
L-1.1  
NORTH  
1" = 20.00'



2 SIDEWALK / ASPHALT SECTION  
L-1.1  
NOTES:  
1. PROVIDE TOoled CONTROL JOINTS @ 5'-0" C/C MAX. SAW CUT @ 10'-0" C/C MAX. IN 8 HOURS OF POUR. PROVIDE 1/2" EXPANSION JOINTS @ 30'-0" C/C MAX.



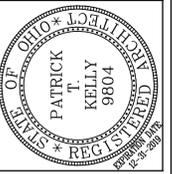
3 SINGLE SPACE - VAN ACCESSIBLE  
L-1.1  
PARKING & LOADING SPACES SHALL NOT SLOPE MORE THAN 2% IN ANY DIRECTION. (4" IN 20'-0" TYP.)  
N.T.S.



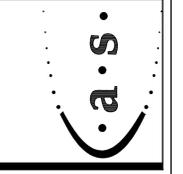
4 SIGNAGE DETAIL  
L-1.1  
HANDICAP SIGNAGE MUST INCLUDE PENALTY CLAUSE  
N.T.S.

- CODED NOTES:**
- EXISTING TREE TO REMAIN.
  - EXISTING TREE TO BE REMOVED AND MITIGATED.
  - NEW TREE.
  - NEW LOW SHRUB, THREE (3) FEET HIGH.
  - NEW HIGH SHRUB, SIX (6) FEET HIGH.
  - VISION TRIANGLE.
  - EXISTING SIDEWALK.
  - NEW SIDEWALK.
  - ASPHALT PARKING LOT.
  - NEW WALL MOUNTED SIGN, SEE SIGN MANUFACTURERS DRAWINGS.
  - NEW MONUMENT SIGN, SEE SIGN MANUFACTURERS DRAWINGS.
  - TRASH ENCLOSURE, EFFECTIVELY SCREEN FROM VIEW.
  - AIR CONDITIONING UNITS, EFFECTIVELY SCREEN FROM VIEW.
  - SIX (6) FUTURE PARKING SPACES.
  - NEW EXTERIOR SITE LIGHT, SEE SHEET E-2.
  - ADA PARKING SPACE, SEE DETAILS 3/L-1.1 AND 4/L-1.1.

- GENERAL NOTES:**
- GC TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
  - LANDSCAPE DRAWINGS TO BE PROVIDED BY LANDSCAPER.



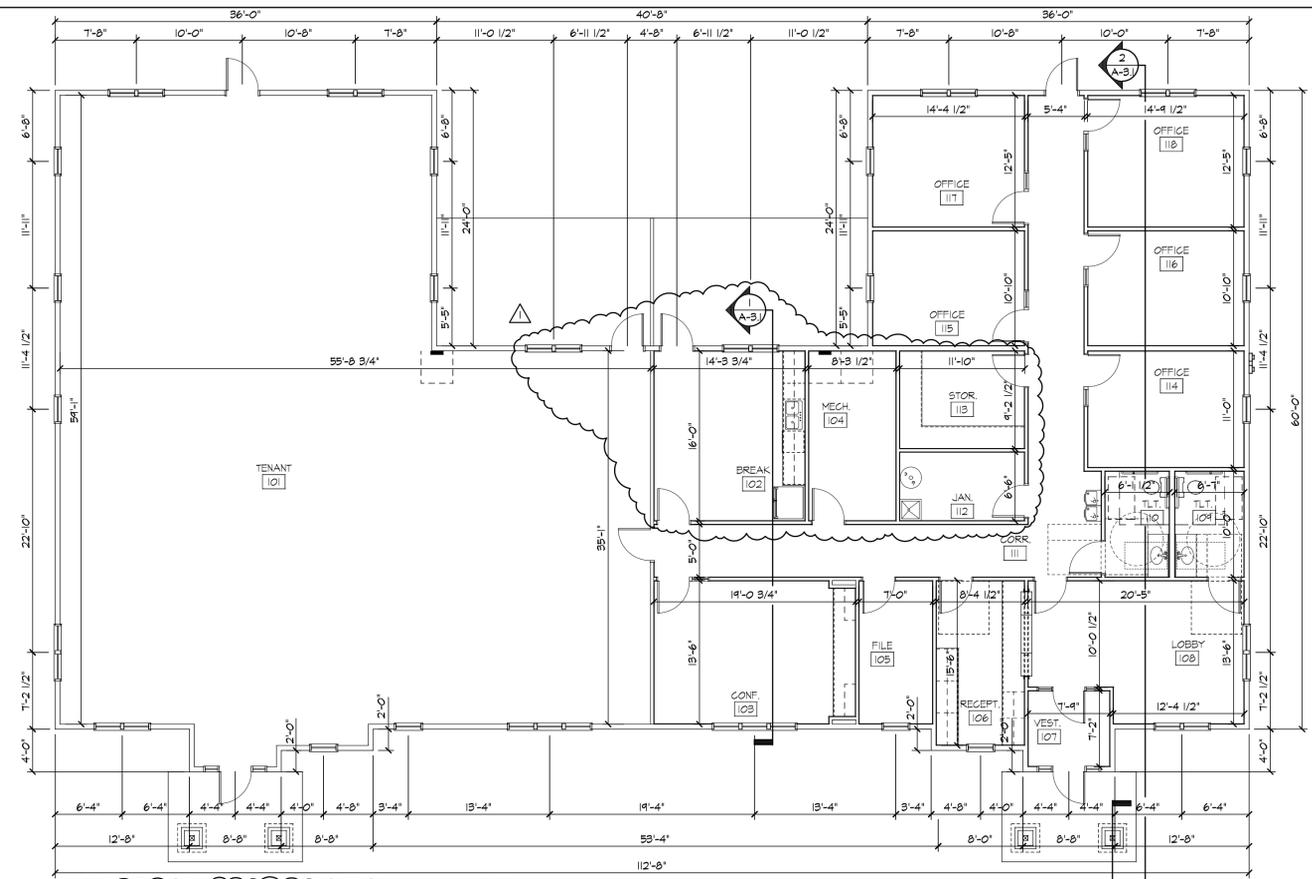
**Kelly Architectural Services, Inc.**  
2600 Pinkerton Road - Zanesville, Ohio 43701  
Phone: 740.454.2334 - Fax: 740.454.4898 - Email: kelly.architectural@gmail.com



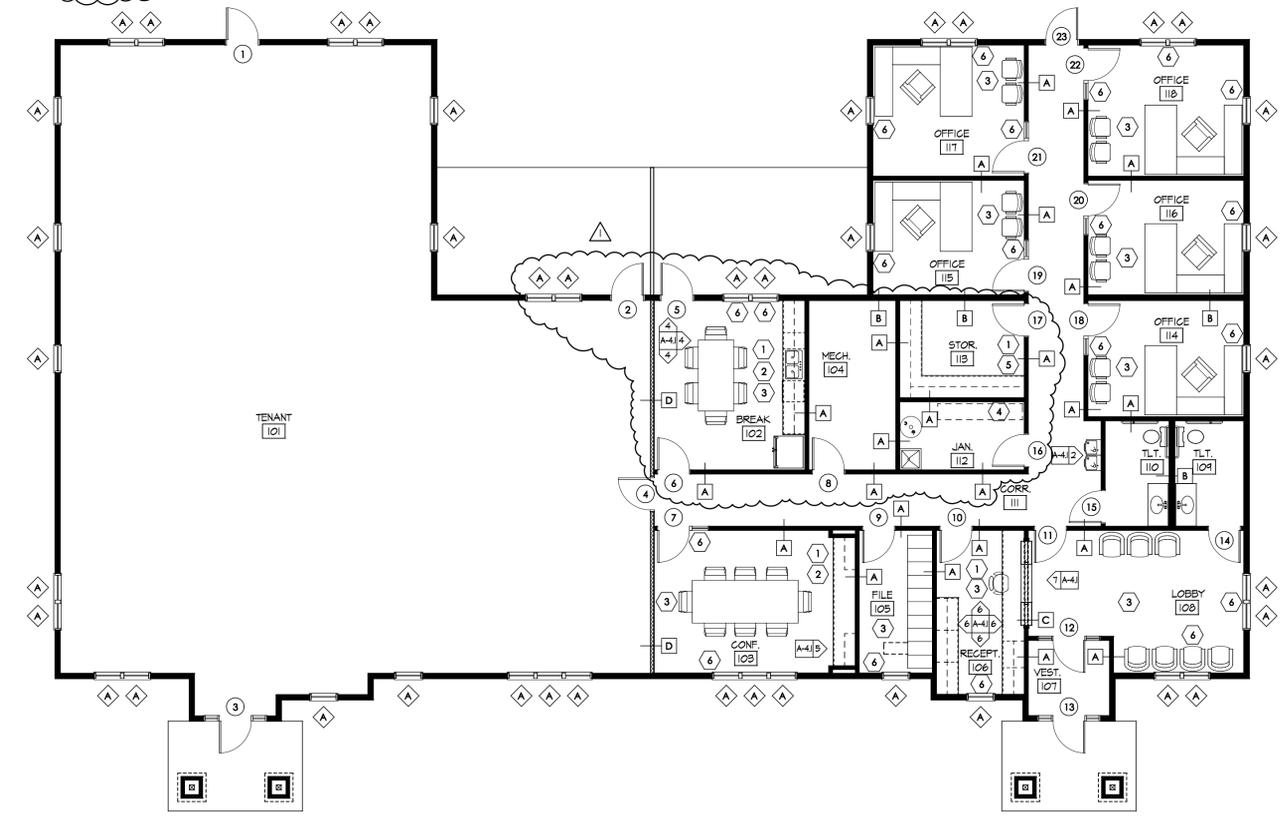
**NEW BUILDING FOR  
WILLIAMSON  
INSURANCE**  
7856 HAZELTON-ETNA ROAD  
PATASKALA, OHIO 43062

KAS NO.	020619
DRAWN	CLAL
CHECK	
PUBLISHED	04 JUNE 19
REVISED	17 JUNE 19
CONTRACTOR REVIEW	

**SITE PLAN**  
SHEET: **L-1.1**



1 DIMENSIONED FLOOR PLAN  
NORTH  
1/8" = 1'-0"

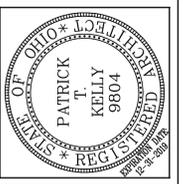
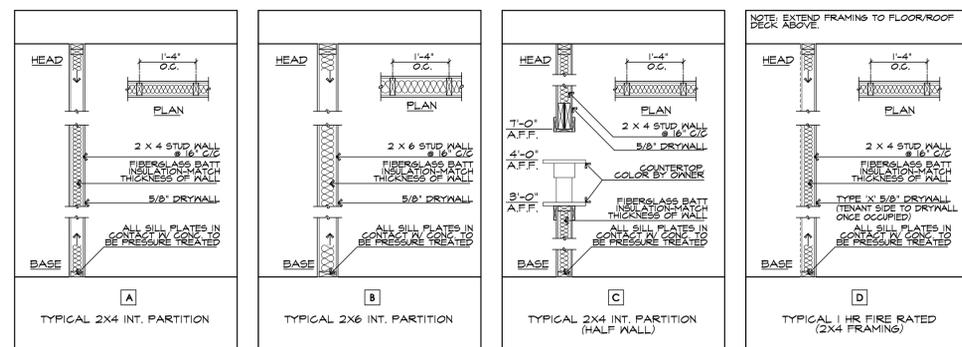


2 NOTED FLOOR PLAN  
NORTH  
1/8" = 1'-0"

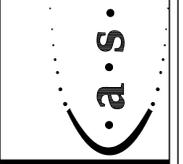
- CODED NOTES:**
1. NEW CASEWORK - REFER TO SHEET A-4.1.
  2. APPLIANCES AND EQUIPMENT - BY OWNER, INSTALL BY G.C.
  3. FURNITURE - BY OWNER, INSTALL BY G.C.
  4. METAL SHELF - BY OWNER, INSTALL BY G.C.
  5. WOOD SHELF, STAINED TO MATCH CASEWORK AND MOUNTING HARDWARE, BY OWNER, INSTALL BY G.C.
  6. WINDOW TREATMENT - BY OWNER, INSTALL BY G.C.

- GENERAL NOTES:**
1. G.C. TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
  2. DIMENSIONS ARE TO CENTERLINE OF COLUMN LINES, FACE OF FRAMING, OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
  3. DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF THE ROUGH OPENING - TYP.
  4. LUMBER AND BLOCKING COMING IN CONTACT WITH MASONRY/CONCRETE SHALL BE PRESSURE TREATED.
  5. CONTRACTOR TO PROVIDE BLOCKING IN PARTITIONS AT ALL LOCATIONS WHERE WORK SURFACE, SHELVING, BRACKETS, DISPLAYS, GRAB BARS, HANDRAILS AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO THE FACE OF WALLS FOR STRUCTURAL STABILITY. - REFERENCE PLAN FOR LOCATION OF SUCH EQUIPMENT.

- SYMBOL LEGEND:**
- ⊙ - DOOR IDENTIFICATION
  - ◊ - WINDOW IDENTIFICATION
  - - PARTITION IDENTIFICATION



**Kelly Architectural Services, Inc.**  
2960 Pinkerton Road - Zanesville, Ohio 43701  
Phone: 740.454.2334 - Fax: 740.454.4898 - Email: kelly.architectural@gmail.com



**NEW BUILDING FOR**  
**WILLIAMSON**  
**INSURANCE**  
7856 HAZELTON-ETNA ROAD  
PATASKALA, OHIO 43062

KAS NO. 020619  
DRAWN CLAL  
CHECK  
PUBLISHED 04 JUNE 19  
REVISED 17 JUNE 19  
CONTRACTOR REVIEW  
**DIMENSIONED & NOTED FLOOR PLANS**  
SHEET: **A-1.1**



**Kelly Architectural Services, Inc.**  
 2960 Pinkerton Road - Zanesville, Ohio 43701  
 Phone: 740.454.2334 - Fax: 740.454.4898 - Email: kelly.architectural@gmail.com



**NEW BUILDING FOR**  
**WILLIAMSON**  
**INSURANCE**  
 7856 HAZELTON-ETNA ROAD  
 PATASKALA, OHIO 43062

KAS NO.	020619
DRAWN	CLAL
CHECK	
PUBLISHED	04 JUNE 19
REVISED	17 JUNE 19
CONTRACTOR REVIEW	

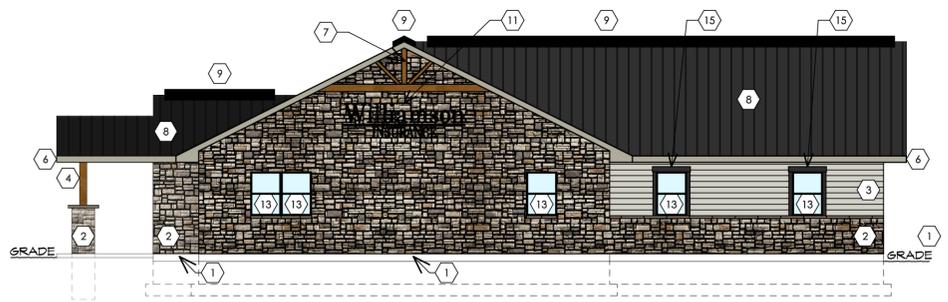
**EXTERIOR ELEVATIONS**  
 SHEET: **A-2.1**

- CODED NOTES:**
- PAINTED CONCRETE, COORDINATE WITH OWNER.
  - PROVIA MANUFACTURED STONE, FOSSIL PALETTE, SENEGA DRY STACK STONE VENEER ADHERED TO MORTAR SETTING BED OVER MORTAR SCRATCH COAT ADHERED TO METAL LATH SCREEN OVER TWO (2) LAYERS VAPOR BARRIER OVER 5/8" OSB SHEATHING ON 2X6 WOOD FRAMING WITH 5/8" 6MB INTERIOR FINISH - VENEER TO INCLUDE CORRESPONDING WATER TABLE AND COLUMN CAP.
  - HARDIEPLANK SELECT CEDARMILL LAP SIDING COLOR: COBBLE STONE OVER VAPOR BARRIER ON 5/8" OSB SHEATHING OVER 2X6 WOOD FRAMING WITH 5/8" 6MB INTERIOR FINISH.
  - 6"X6" PRESERVATIVE TREATED POST WRAPPED WITH WOOD SEALED AND STAINED VENEER. SHERWIN WILLIAMS, WOOD CLASSICS, COLOR: BANISTER BEIGE SW 3128-B.
  - 60FTAGE-STYLE WOOD JOINED-BOARD-AND-BATTEN SHUTTERS WITH TWO BATTENS SEALED AND STAINED - SHERWIN WILLIAMS, WOOD CLASSICS, COLOR: BANISTER BEIGE SW 3128-B.
  - 5" GUTTER AND DOWNSPOUT - TYP. COLOR: STONE. (CONTRACTOR TO PROVIDE SAMPLE COLORS TO THE ARCHITECT FOR FINAL SELECTION.)
  - DECORATIVE GABLE TRUSS, SEALED AND STAINED WOOD. SHERWIN WILLIAMS, WOOD CLASSICS, COLOR: BANISTER BEIGE SW 3128-B.
  - 26 GA. STANDING SEAM METAL ROOF OVER 5/8" OSB SHEATHING - TYP. WITH 2X6 FASCIA BOARD WITH CORRESPONDING DRIP EDGE & FLASHING AS REQUIRED. COLOR: BLACK.
  - CONTINUOUS RIDGE VENT.
  - WOOD PRIVACY FENCE, SEALED AND STAINED. SHERWIN WILLIAMS, WOOD CLASSICS, COLOR: BANISTER BEIGE SW 3128-B.
  - EXTERIOR SIGNAGE BY SIGNAGE COMPANY. COORDINATE SIGNAGE REQUIREMENTS WITH ZONING GUIDELINES.
  - FENCE AROUND ROLLING TRASH CANS. WOOD SEALED AND STAINED. SHERWIN WILLIAMS, WOOD CLASSICS, COLOR: BANISTER BEIGE SW 3128-B.
  - BLACK VINYL WINDOW FRAMES, SEE SHEET A-5.1.
  - BLACK ALUMINUM DOOR FRAMES, SEE SHEET A-5.1.
  - HARDIETRIM BOARDS, 4/4 NTS SMOOTH, COLOR: IRON GRAY. SEE SHEET A-5.1.

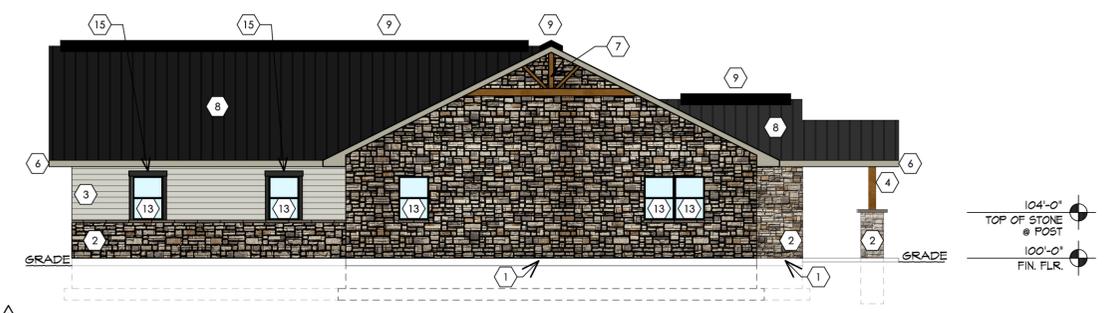
- GENERAL NOTES:**
- GC TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
  - CONTRACTOR TO INSTALL ALL HARDIEBOARD AND HARDIPLANK APPLICATIONS TO THE MANUFACTURER SPECIFICATION.
  - SIGNAGE REQUIREMENTS TO MEET LOCAL ZONING REQUIREMENTS AND GUIDELINES - BY OTHERS.



**1 ELEVATION**  
 A-2.1 1/8" = 1'-0"



**2 ELEVATION**  
 A-2.1 1/8" = 1'-0"



**3 ELEVATION**  
 A-2.1 1/8" = 1'-0"



**4 ELEVATION**  
 A-2.1 1/8" = 1'-0"