



CITY OF PATASKALA PLANNING & ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

STAFF REPORT

July 1, 2020

TCOD Application TCOD-20-001

Applicant:	Trent Walter
Owner:	Ohio Car Wash Holdings
Location:	0 N Belmar Drive SW (PID: 063-151386-00.000)
Acreage:	~1.32-acre
Zoning:	GB – General Business
Request:	Requesting approval of a Transportation Corridor Overlay District (TCOD) Application pursuant to Section 1259.07 of the Pataskala Code for a Car Wash

Description of the Request:

The applicant is seeking approval of a Transportation Corridor Overlay District application for the construction of a Car Wash facility.

Staff Summary:

The 1.32-acre property is currently vacant, undeveloped land, and is zoned GB – General Business. Towards the rear of the property, a stream runs east to west parallel to E Broad Street. Existing trees surround the creek on either side. This parcel is adjacent to three (3) public rights-of-way. E Broad Street to the south, N Belmar Drive SW to the east, and N Summit Ridge Drive SW to the west.

The Applicant is requesting approval of their Transportation Corridor Overlay District application to allow for the construction of a car wash on the property. The North American Industry Classification System (NAICS) 2007 assigns this use code 811192 for car washes and describes it as establishments “primarily engaged in cleaning, washing, and/or waxing automotive vehicles, such as passenger cars, trucks, and vans, and trailers”. Pursuant to Section 1249.04(7) of the Pataskala Code a vehicle car wash is a Conditional Use within the GB – General Business District zoning. The Applicant has already received Conditional Use approval, which was approved by the Board of Zoning Appeals on May 12, 2020 (CU-20-004).

Below is a general summary of the proposed Car Wash:

Car Wash Building

- Dimensions: 140'-0" x 38'-0"
- Square Footage: 5,320 sf.
- Exterior: Stone veneer, painted concrete block, blue colored metal roofing.

Proposed Setbacks

- Front (E Broad Street): 65'

- Front, Left (N Summit Ridge Drive SW): 73'9"
- Front, Right (N Belmar Dr SW): 133'-4"
- Rear: 59'6"

Parking

- 3 Employee parking spaces
- 14 vacuum spaces
- 22' wide double stack drive through lane with spaces for 29 vehicles
- 1 ADA parking space

Access

- Two (2) 35' wide access drives. One from N Summit Ridge Drive SW, and one from N Belmar Drive SW
- Proposing a left turn lane on E Broad St into N Summit Ridge Drive SW

Landscaping

- L4 landscape standard (6' high privacy fence, 1 tree per 30') along north property line where abutting residential uses.
- L2 landscape standard (continuous 3' shrub planting, 1 tree per 30') along frontage of N Summit Ridge Drive SW, and N Belmar Drive SW.
- Interior landscaping islands consisting of gravel, mulch, shrubs and decorative trees at each corner of the proposed building.
- Enclose dumpster in Split Masonry screening that will match building exterior.
- Enclose and pipe approximately 260' of stream along north property line mitigated per EPA, City of Pataskala, and/or Army Corps of Engineers requirements.

Per the Narrative Statement

- Wash cycle of approximately 2.5 minutes, 24 vehicles per hour
- Shielded LED lighting to eliminate light intrusion onto adjacent properties. Timed to shut off and dim at night as necessary
- Sound deadening design and layout to prevent sound leakage (test report attached to application)
- Hours of operation: 8:00AM-7:00PM Monday-Saturday, 9:00AM-5:00PM Sundays.
- 10-12 employees
- Bio-degradable and environmentally friendly car wash soap; does not use harsh or noxious chemicals
- Any trees of 6" in diameter will be replaced per City requirements
- Underground storm-water detention system that will be engineered to not overwhelm existing storm-water system

Staff Review:

The following review does not constitute recommendations but merely conclusions and suggestions based on the summary

Planning and Zoning:

The Applicant met with Staff on February 11, 2020 to review their concept plan. Staff followed up with comments on the concept plan, at which point the Applicant submitted for a Conditional Use Application, which was approved by the Board of Zoning Appeals on May 12, 2020 (CU-20-004). Should the TCOD

Application be approved, the next step would be Construction Plans (Engineering Approval), then to New Commercial Construction Permit (administrative), then final compliance.

Staff has reviewed the Application and has drafted a list of Plan Review comments, which is attached to this staff report. Comments which have been addressed are ~~struck through~~, with details on how the Applicant addressed these in *italics*. Remaining and additional comments are in **red**. There are several items as part of the TCOD approval process that the PZC has the authority to approve or disapprove as proposed, with consideration given to recommendations from City Staff, even when they do not meet the minimum requirements of the Pataskala Code. Those being setbacks, buffer zones, parking requirements, and landscaping/design requirements.

As part of the Applicant's proposal they are requesting waivers for the following items that do not meet the minimum requirements of the Pataskala Code:

1259.05(B) Setbacks:

- Front (Broad Street): 40' required per 1291.05(A)(4). Proposed is 14'.
 - Requesting waiver of 26'
- Front (East Side): 40' required per 1291.05(A)(4). Proposed is 22'-7"
 - Requesting waiver of 17'-5"
- Front (West Side): 40' required per 1291.05(A)(4). Proposed is 13'-5"
 - Requesting waiver of 26'-7"
- Rear: When abutting a residential zoning district, the rear yard setback shall be 35' for structures, and 25' for paved areas per Section 1249.05(C)(3)(b). Proposed setback for paved areas is 18'.
 - Applicant requesting waiver of 7'.

1259.09(D): Storage Areas: Trash receptacles shall be totally enclosed and screened from adjacent uses and be located behind building(s).

- Dumpster enclose not behind building, requesting waiver for current location as there is no room in the rear of the building due to setbacks. Additional landscaping added around enclose area.

1259.09(G)(4)(a): a minimum distance of 8 feet shall be maintained between any building and the parking area.

- Only 4' on north side bump out, and only 6' on the south side of building. Applicant requesting waiver of 4' and 2', respectively.

In addition, pursuant to 1259.05(G)(3), Parking requirements shall be approved, approved with modifications or disapproved by the PZC with consideration given to recommendations by City staff. Section 1291.16 does not identify the required number of off-street parking spaces for car washes. However, the PZC reserves the right to determine if an unlisted use is similar to one listed or determine the number of parking spaces required for any use not listed. Staff believes that the 14 vacuum and three (3) employee parking spaces is sufficient.

Pursuant to Section 1259.05(F) sidewalks shall be provided along each developed parcel or upon change of use if a sidewalk does not exist at the time of development or change of use. Along Broad Street, this should be an 8' wide asphalt path, and a 4' wide concrete sidewalk along N Summit Ridge Drive and N Belmar Drive. Additionally, pursuant to Section 1117.15(f) The City Administrator or their designee reserves the right to waive the requirement for installation of public sidewalks where such improvement

would not be compatible with surrounding or adjacent land. The developer shall contribute to a fund in-lieu of the required sidewalks. Staff has determined that the fee in-lieu would be more appropriate for this development.

The only other comment that Planning and Zoning Staff has is that pursuant to Sections 1291.05(A)(4) and 1283.07(B) of the Pataskala Code, L2 landscaping shall be installed along all public street frontages. Applicant has provided L2 along east and west frontages, however, landscaping along the frontage along Broad Street is not included. Staff believes that the L2 landscaping should be installed along Broad Street as in other TCOD projects, for example, the O'Reilly Auto Parts store next door.

Public Service Director

1. To satisfy the requirements of the TCOD, and working with the developer, the developer will be required to install a left-turn lane on Broad St. at Summit Ridge Dr. SW. This is acceptable and details will be worked out in Engineering review.
2. The developer has also been asked to provide ROW, which they have done.
3. The developer must satisfy EPA/ACOE requirements to be able to pipe in the existing watercourse.
4. Specific design elements and requirements for stormwater, access management, and the turn lanes will be addressed in the engineering plan review.

City Engineer:

Comments below to be addressed during Construction Plan review:

1. Applicable signatures need added to the title sheet
2. Add description to CNPT for control
3. Add applicable Pataskala Standard Notes to Plans
4. Turn Lane Plans will need developed and submitted for review of Broad Street Left Turn Lane.
5. A 10' Existing Storm Sewer is identified on the Topographic Plan. The location of the 10' easement will be under the existing building and will need relocated and identified on the plans.
6. Intersection grading details need added to both entrances from the public street.
7. The grading plan is missing contours and additional spot elevations should be added.
8. Storm Sewer profiles should be added to the plans.
9. Outlet protection should be added to all culverts
10. The storm calculations need updated to City of Columbus type II design storm information.

Other Departments and Agencies:

No other comments were received.

Surrounding Area:

Direction	Zoning	Land Use
North	R-20 – Medium Density Residential	Single-Family Homes
East	GB – General Business	Vacant
South	R-20 – Medium Density Residential GB – General Business	Commercial Business Vacant
West	GB – General Business	Auto Parts Sales

Department and Agency Review

- Zoning Inspector – No comments
- City Engineer – See attached
- SWLCWSD – No comments
- Police Department – No comments
- Public Service Director – See attached
- West Licking Joint Fire District – No comments
- Licking Heights School District – No comments

Modifications:

Should the Commission choose to approve the applicant's request, the following modifications may be considered:

1. The applicant shall obtain all necessary permits from the City of Pataskala and the Licking County Building Department prior to construction.
2. The Applicant shall address all comments from Planning and Zoning Staff, the Public Service Director, and the City Engineer
3. The Applicant shall supply Planning and Zoning Staff with a set of mylar plans upon approval of the Zoning Permit.

Resolution:

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

"I move to approve a Transportation Corridor Overlay District Application TCOD-20-001 pursuant to Section 1259.07 of the Pataskala Code ("with the following modifications" if modifications are to be placed on the approval)."



CITY OF PATASKALA PLANNING & ZONING DEPARTMENT

621 West Broad Street, Suite 2A
Pataskala, Ohio 43062

Express Car Wash TCOD Review

June 24, 2020

Chapter 1249 – General Business (GB) District

1249.02: Conditionally Permitted Uses

- ~~1249.02(7): Vehicle carwash, provided off-street paved parking area, capable of accommodating not less than one-half (1/2) of hourly vehicle washing capacity awaiting entrance to the washing process is suitably located and maintained on the premises, and for such space to contain at least two hundred (200) square feet per waiting vehicle; and no safety hazard or impediment to traffic movement is created by the operation of such an establishment.~~
 - *Applicant stated hourly vehicle capacity is 24, half of that would be 12. Applicant has provided more than double that, at 29 spaces.*
 - *Applicant has received Conditional Use Approval from BZA (CU-20-004).*

1249.05: General Requirements of the GB District

- ~~1249.05(A): No building shall be erected or enlarged to exceed 35 feet.~~
 - ~~Building height shall be indicated on the plans.~~
 - *Building height indicated as 29'-6 1/2"*
- ~~1249.05(C) Setbacks and yards~~
 - ~~1249.05(C)(1): 50 feet in depth with central water and sewer~~
 - ~~As this property is adjacent to public r/w on three sides, the front yard setback shall apply to all property lines abutting public r/w pursuant to 1249.05(C)(4).~~
 - ~~1249.05(C)(3): When abutting a residential zoning district: 35 feet for structures, 25 feet for paved areas.~~
 - ~~Appears structure will comply with these from setback lines indicated, however we will need the exact distances from each face of the building to the property lines at the shortest distance to be shown on the plans.~~
- ~~1249.05(D): The maximum percental of the total lot area which may be occupied by both principal structure and accessory buildings for commercial uses shall be 85%.~~
 - ~~From dimensions on plans lot coverage appears to be around 9.25%, however data to support this will need to be supplied on the plans.~~
 - *Actual, as shown percentage 10%*
- ~~1249.05(G): All trash and garbage control shall be stored in container systems which are located and enclosed so as to effectively screen them from view. Screening of trash and garbage areas shall meet requirements of Section 1283.06. Container systems shall not be located in front yards.~~
 - ~~Unsure how much refuse a car wash produces. Will it be using a dumpster or residential size containers? Where will they be stored?~~
 - *Applicant will provide one enclosed dumpster storage location in southeast corner near employee parking.*

Chapter 1259 – Transportation Corridor Overlay District (TCOD)

1259.05: Design Standards

- ~~1259.05(A): Traffic Safety Measures. One or more of the following traffic safety measures shall be required in an effort to air access and traffic management:~~

- 1259.05(A)(1): Access Road Requirements. Access roads shall be utilized to service commercial development located along the corridor. Such roads will help prevent traffic interruptions on the thoroughfare.
- 1259.05(A)(2): Left Turn Lanes. Left turn lanes, which provide stacking lanes for those cars preparing to turn left, shall be utilized in an effort to help prevent traffic slow down and traffic hazards.
- 1259.05(A)(3): Acceleration/Deceleration Lanes. Acceleration/deceleration lanes shall be utilized to help prevent traffic slow down and general interruptions, thereby avoiding potential traffic hazards.
- 1259.05(A)(4): Driveway Spacing. Access points shall be separated by a minimum distance of 600 feet (from edge to edge of driveway cuts) along Broad Street (SR 16) and shall be adjusted accordingly for other roads included in the TC based on their given speed limits (National Cooperative Highway Research Program, Access Management Guidelines for Activity Center, Washington, D.C., 1992).
- 1259.05(A)(5): Right in / Right out only turns. Points of access that allow only right in/right-out access shall be utilized in an effort to help prevent traffic slowdown and additional points of traffic conflicts.
- 1259.05(A)(6): Or other traffic safety measures as approved by the City engineers.
 - We will follow up with Alan's comments in regards to this.
 - Applicant is providing one (1) left turn lane on E Broad Street onto N Summit Ridge Drive SW per the Public Service Director's recommendation.
- 1259.05(B): The front yard setback shall be based on the recommended right-of-way width as outlined in the Master Thoroughfare Plan. All yard setbacks shall be approved, approved with modifications or disapproved by the Planning and Zoning Commission with consideration given to recommendations from City staff.
 - Applicant will dedicate additional Right-of-Way to city.
 - Section 1249.05(C)(1): Requires 50' front yard setback for structures, which applicant meets on all three (3) frontages.
 - Section 1291.05(A)(4): Requires a 40' vegetated zone (landscaped to L2) between street right-of-way and any parking or loading area. Proposed is 14'. Applicant requesting waiver of 26'.
 - As property also has frontages on N Summit Ridge Dr, and N Belmar Dr, the front yard setback shall also apply on those frontages.
 - East Front Yard: 1291.05(A)(4): Requires 40' vegetated zone (landscaped to L2) between street right-of-way and any parking or loading area. Proposed is 22'-7". Applicant requesting waiver of 17'-5"
 - West Front Yard: 1291.05(A)(4): Requires 40' vegetated zone (landscaped to L2) between street right-of-way and any parking or loading area. Proposed is 13'-5". Applicant requesting waiver of 26'-7".
 - Section 1249.05(C)(3)(b): When abutting a residential zoning district, the rear yard setback shall be 35' for structures, and 25' for paved areas. Proposed setback for paved areas is 18'. Applicant requesting waiver of 7'.
- 1259.05(D): Storage areas and trash storage receptacles shall be totally enclosed by structures or opaque fences on four sides, screened from adjacent uses, and be located behind building(s).
 - Again, for trash not sure what you will need. If using trash bins, you can put a fence on the rear of the building to keep them screened, or just put them inside the building.

- Applicant has provided a screened area of a dumpster, split masonry wall 6' 9" in height.
- 1259.05(E): All new utilities shall be located underground.
 - ◊ Place a statement on the plans stating such.
- 1259.05(G): Corridor Landscaping/Buffers/Screening
 - ◊ 1259.05(G)(1): All existing, healthy trees having a trunk diameter of 6 inches or more shall be preserved whenever possible. The developer shall be required to submit a tree survey which indicates the location of such trees.
 - Should trees meeting this requirement be removed, replacements are required. Further mentioned in Section 1283.03
 - Applicant included statement on plan that all trees proposed to be removed are less than 6 inches in diameter
 - 1259.05(G)(2): Buffer zones shall be approved, approved with modifications or disapproved by the PZC with consideration given to recommendations from City staff.
 - Applicant has provided for L4 landscaping along north property line where abutting residential uses and L2 along East and West frontages as required, however, no landscaping is proposed along Broad St frontage. L2 is required per Sections 1291.05(A)(4) and 1283.07(B). Staff believes that the L2 landscaping should be installed along Broad Street as in other TCOD projects (O'Reilly Auto Parts next door).
 - 1259.05(G)(3): Parking requirements shall be approved, approved with modifications or disapproved by the PZC with consideration given to recommendations by City staff.
 - 1291.16: The required number of off-street parking spaces for a car wash is not identified, however, the PZC reserves the right to determine if an unlisted use is similar to one listed or determine the number of parking spaces required for any use not listed. Staff believes that the 14 vacuum and three (3) employee parking spaces is sufficient.
 - 1259.05(G)(4): Landscaping/Design Requirements
 - 1259.05(G)(4)(a): distance between parking area and building: a minimum distance of 8 feet shall be maintained between any building and the parking area.
 - Only 4' on north side bump out, and only 6' on the south side of building. Applicant requesting waiver of 4' and 2', respectively.
- 1259.05(F): Pedestrian/Handicap Access
 - ◊ Sidewalks shall be provided along each developed parcel or upon change in use of an existing developed parcel within the TC Overlay District if a sidewalk does not exist at the time of the development or change in use of the parcel.
 - Along Broad Street this is an 8' wide asphalt path.
 - Pursuant to Section 1117.15(f) City Staff shall reserve the right to waive the requirement for installation of public sidewalks and associated improvements where the improvement would not be compatible with a surrounding or adjacent development. The developer shall contribute to a fund established by Council for the purpose of development payment in-lieu if the requirement for the public sidewalk and associated improvements is waived. Staff has determined that the fee in-lieu would be used in this instance.

Chapter 1283 – Landscaping and Screening

Section 1283.07: Application of Landscaping Standards

- 1283.07(B): Front yard = L2, Rear yard = L3 or L4
 - Applicant has provided L2 along East and West front yards, L4 along North property line where abutting residential uses. However, no landscaping was indicated along front property line on E Broad Street SW. PZC has authority to determine whether landscaping is appropriate.

Section 1283.06: Landscaping and Screening Standards

- 1283.06(3): L2 Standard is a continuous 3 foot high shrub line/berm/wall with 1 tree per 30 lineal feet.
- 1283.06(5): L4 standard is a fence/wall not less than 6 feet high and 100% opaque (no chain link w/ inserts) with 1 tree per 30 lineal feet.
 - With such close proximity to residential on north side, Staff feels L4 would be more appropriate than L3 (6 foot high shrub screen).
- 1283.06(7)(b): Trees may be of deciduous or evergreen type but shall be of those in Table 1283.03-02. Minimum diameter and height standards must be met.
 - Type of trees not indicated, however, these are only for those trees being replaced. Applicant has indicated no trees will need to be replaced.
- 1283.06(7)(c): Existing vegetation may be used to meet these standards.
 - If doing so for the North property line, please indicate on the plans.

Section 1283.03: Tree Preservation and Replacement

- Any tree over 6 inches (as in 1259.05(G)) shall be preserved where possible. If being removed, then a tree must be replaced at an appropriate ratio as determined by Table 1283.03-01 and Table 1283.03-02. A developer may also contribute to a fund in lieu of replacements at a 3:1 ratio.

Chapter 1291 – Parking and Loading

Section 1291.16: Required Number of Off-Street Parking Spaces

- 1291.16: The required number of off-street parking spaces for a car wash is not identified, however, the PZC reserves the right to determine if an unlisted use is similar to one listed or determine the number of parking spaces required for any use not listed. See comments above in 1259.05(G)(3).

Section 1291.15: Width of Access Driveway

- Access drives shall be a minimum width of 28 feet for two-way traffic, and a minimum width of 14 feet for one-way traffic
 - Proposed distance of access drive off N Belmar Drive is 35 feet, which is compliant. Is this the same distance from N Summit Ridge Drive? Indicate on plans.

Section 1291.13: Interior Screening and/or Landscaping

- 1291.13(B)(1): All surface parking areas with more than 10 spaces shall provide curbed interior landscaping complying with one or a mix of these standards:
 - 1291.13(B)(1)(a): Interior landscaping at a rate of 20 sqft per stall, 1 tree provided for every 200 sqft of landscaped area.
 - 1291.13(B)(1)(b): 1 tree for every 4 parking spaces.
 - Perimeter landscaping cannot be counted for interior landscaping. With the planting beds around the building, you may be in compliance with this, but keep in mind as you are redesigning the site. Maybe add additional trees or landscaping beds around employee parking area.
 - Applicant provided interior landscaping islands at each corner of the building that complies with above section.

Section 1291.11: Parking and Loading Space Dimensions

- 75-90 Degree Parking: Lane width of 9 feet, Lane length of 19 feet.

- ~~Appears to be compliant.~~

Section 1291.07: Parking Spaces for People with Disabilities

- ~~1291.07(B): Dimensions shall be 11 feet wide, 19 feet deep. 5 foot wide access aisle on at least one side.~~
 - ~~Length appears to be ok, width not indicated. Also need that 5 foot wide access aisle on one side with a ramp up to the sidewalk with a slope not to exceed 1:20, or as indicated by the ADA guidelines.~~
 - ~~Signage for the accessible space must also be provided, details in 1291.07(C).~~
 - *Applicant provided 12'x20' ADA space with a 16' access aisle on one side.*

Section 1291.05: Location of Parking and Loading Spaces

- 1291.05(A)(4) a 40-foot vegetated zone landscaped to L2 standard (Chapter 1283) between street r/w and any parking or lading area.
 - *Applicant has requested waivers for setback distance. Staff believes L2 is still appropriate. See comments above for 1259.05(G)(2).*

Section 1291.03: Lighting

- ~~Any nonresidential parking area with 10 or more off street parking spaces shall be illuminated during times of darkness to provide an average intensity of ½ foot candles as measured at the parking surface.~~
 - ~~This will be something we'll need to talk about. I believe there was mention during our meeting of considering the vacuum bays as parking spaces, which would put you over the 10 threshold, but also considering the close proximity to the neighbors on the north it would be advantageous to have minimal lighting at night.~~
 - *Applicant stated that the site will be lit by shielded LED lights, which will be timed to turn off or dim in the evening when the car wash closes (Hours of Operation in Staff Report). Also provided Lighting Plan.*

Chapter 1295 – Signs

Section 1295.09: General Sign Standards

- ~~1295.09(b)(2)(A): Total sign area of all signs on any lot shall be two (2) sqft of sign area per lineal foot of building front. Building front footage is 140'. Total allowable (140x2) is 280 sqft.~~
 - *Broad St frontage signs: Two (2) signs, 64 sqft face-lit LED and a 46 sqft face-lit LED for a total of 110 sqft.*
 - *West: One (1) 19 sqft face-lit LED sign.*
 - *East: One (1) 28 sqft face-lit LED sign.*
 - *Ground: One (1) 32 sqft face-lit LED sign.*
 - *Total: 189 sqft of signage which is below the 28 sqft maximum allowable.*
- ~~1295.09(2)(C): One ground sign not exceeding 32 sqft, not exceeding 10 feet in height.~~
 - *Proposed one (1) ground sign, 32 sqft, 6'-5" in height.*
- ~~1295.09(2)(D)(3): Additional signage permitted on lots with multiple street frontages.~~
 - *West: One (1) 19 sqft face-lit LED sign.*
 - *East: One (1) 28 sqft face-lit LED sign.*

Jack Kuntzman

City Planner

740-964-1316

jkuntzman@ci.pataskala.oh.us

From: [Alan Haines](#)
To: [Jack Kuntzman](#)
Subject: RE: Pataskala PZC Review Memo for 07-01-2020
Date: Monday, June 22, 2020 4:56:16 PM

Jack,

I have the following comments regarding the 7-1-20 PZC hearing:

1. TCOD-20-001
 - a. To satisfy the requirements of the TCOD, and working with the developer, the developer will be required to install a left-turn lane on Broad St. at Summit Ridge Dr. SW. This is acceptable and details will be worked out in Engineering review.
 - b. The developer has also been asked to provide ROW, which they have done.
 - c. The developer must satisfy EPA/ACOE requirements to be able to pipe in the existing watercourse.
 - d. Specific design elements and requirements for stormwater, access management, and the turn lanes will be addressed in the engineering plan review.

Let me know if questions or concerns.

Regards,

Alan W. Haines, P.E.
Public Service Director
City of Pataskala

621 W. Broad Street
Suite 2B
Pataskala, Ohio 43062

Office: 740-927-0145
Cell: 614-746-5365
Fax: 740-927-0228

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Wednesday, June 10, 2020 1:19 PM
To: Steven Blake <sblake@ci.pataskala.oh.us>; Jim Roberts <jroberts@hullinc.com>; Scott Haines <shaines@hullinc.com>; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; Philip Wagner <pwagner@lhschools.org>; Chris Gilcher <cgilcher@swlcws.com>; Alan Haines <ahaines@ci.pataskala.oh.us>
Cc: Scott Fulton <sfulton@ci.pataskala.oh.us>
Subject: Pataskala PZC Review Memo for 07-01-2020
Importance: High

Good afternoon Gentlemen,

You are receiving this email because one or more of the Applications submitted for the July 1, 2020 Planning and Zoning Commission is within your jurisdiction. Please see the list below for which Applications are being submitted for your review.

TCOD-20-001: Steven Blake, Jim Roberts, Bruce Brooks, Doug White, Philip Wagner, CJ Gilcher, Alan Haines

Please review the applications, and if you have any comments or concerns regarding them have them submitted to me by at least June 19, 2020. They will be included in the Staff Report that is given to the Commission members.

And if you have any questions about the Applications themselves, feel free to contact me.

Here is a link to download the review memo: https://pataskala-my.sharepoint.com/:f:/g/personal/jkuntzman_ci_pataskala_oh_us/EkNTV7GigSFPlwoViIT_GAQBWL2F2tS2aC2Hwy7qeqYJtw?e=RONLfE

From: [Scott Haines](#)
To: [Jack Kuntzman](#)
Cc: [Scott Fulton](#); [Lisa Paxton](#); [Alan Haines](#); [Jim Roberts](#)
Subject: June 3, 2020 PZC Meeting
Date: Monday, May 25, 2020 7:23:11 PM

Jack

Hull and Associates has reviewed the agenda items for the June 3, 2020 PZC Meeting and offer the following comments.

Rep-20-002

1. We have no engineering concerns with the submitted application.

TCOD-20-001

1. Applicable signatures need added to the title sheet
2. Add description to CNPT for control
3. Add applicable Pataskala Standard Notes to Plans
4. Turn Lane Plans will need developed and submitted for review of Broad Street Left Turn Lane.
5. A 10' Existing Storm Sewer is identified on the Topographic Plan. The location of the 10' easement will be under the existing building and will need relocated and identified on the plans.
6. Intersection grading details need added to both entrances from the public street.
7. The grading plan is missing contours and additional spot elevations should be added.
8. Storm Sewer profiles should be added to the plans.
9. Outlet protection should be added to all culverts
10. The storm calculations need updated to City of Columbus type II design storm information.

Thank you for the opportunity to review these items and please contact us if there are any questions on our comments or if we can help in any other way.

Scott R. Haines, P.E., CPESC

Senior Project Manager

HULL | Newark, Ohio

Environment / Energy / Infrastructure

d: 740-224-0839 | o: 740-344-5451 | f: 614-973-9070

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Scott R. Haines, P.E., CPESC

Senior Project Manager

HULL | Newark, Ohio

Environment / Energy / Infrastructure



CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

TRANSPORTATION CORRIDOR OVERLAY DISTRICT APPLICATION

(Pataskala Codified Ordinances Chapter 1259)

Property Information	
Address: North side of East Broad St. between Belmar Dr. & N. Summit Ridge	
Parcel Number: 063-151386-00.000	
Zoning: GB-General Business	Acres: 1.329
Water Supply:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input checked="" type="checkbox"/> On Site
Wastewater Treatment:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input checked="" type="checkbox"/> On Site

Staff Use
Application Number: TCOD-20-001
Fee: 300
Filing Date: 5-8-20
Hearing Date: 7-1-20
Receipt Number: 21224

Applicant Information	
Name: Trent Walter	
Address: 1266 Middle Lonsbury Road	
City: Ashland	State: Ohio Zip: 441505
Phone: 1-877-663-9274	Email: twalter@nationalpridecorwash.com

Documents
<input checked="" type="checkbox"/> Application
<input checked="" type="checkbox"/> Fee
<input checked="" type="checkbox"/> Site Plan
<input checked="" type="checkbox"/> Development Plan
<input checked="" type="checkbox"/> Deed
<input checked="" type="checkbox"/> Area Map

Property Owner Information	
Name: Ohio Car Wash Holdings	
Address: 1266 Middle Lonsbury Road	
City: Ashland	State: Ohio Zip: 441505
Phone: 1-877-663-9274	Email: twalter@nationalpridecorwash.com

Transportation Corridor Overlay District Information
Describe the Project:
Construction of a "tunnel" corwash with associated drives, vacuums and parking.
Left turn lane will be constructed on East Broad Street at the intersection of N. Summit Ridge Drive

Documents to Submit

Transportation Corridor Overlay District Application: Submit one (1) copy of the Transportation Corridor Overlay District application.

Site Plan: Submit one (1) copy (unless otherwise directed by staff) of a site plan to scale including the following:

- The boundaries and dimensions of the lot.
- The size and location of existing and proposed structures.
- The proposed use of all parts of the lot and structures.
- All reserve parcels and anticipated development phases.
- The use of land and location of structures on adjacent property within 100 feet of the property line.
- Existing trees that are six (6) inches or greater in diameter measured five (5) feet above the ground located within the setback.

Development Plan: Submit one (1) copy (unless staff requests additional) of a development plan including the following:

- Structures: All proposed structures shall be located, showing square footage for each structure, expected entrance(s), service, and pedestrian areas for each phase of the development.
- Traffic concept: All points of ingress and egress onto public roadways and the overall traffic distribution scheme shall be shown, indicating traffic flow patterns and traffic control points. The requirements for a traffic study and the need for "Traffic Safety Measures" shall be at the discretion of the City Engineer and approved, approved with modifications or disapproved by the Planning and Zoning Commission.
- Parking layout: A parking layout must be shown to include access points and expected movement for all transportation modes through and between separate parking lot areas and expected pedestrian access routes from parking areas and bus stops to structures.
- Landscaping: All proposed site landscaping, screening, and buffering shall be indicated as to type and size of material to be used, proposed locations, berming and other features in accordance with Section 1259.05(G).
- Proposed location, dimensions, and design of signs.
- Elevations of proposed structures or expansion of existing structures including dimensions and materials.

Deed: Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at www.lcounty.com/rec.

Area Map: Submit one (1) copy of an area map from the Licking County Engineer's office showing the property and surrounding area. Area maps can be obtained at www.lcounty.com/taxparcelviewer/default.

Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this Transportation Corridor Overlay District request.

Applicant (required):

Date:

5/8/20

Property Owner (required):

Date:

5/8/20

Pataskala Zoning Commentary for the Express Car Wash:

The following narrative is to supplement the drawings and conditional use zoning application for a proposed express car wash facility, which is a conditional use as per 1240.04 (7). The facility layout will provide more than ½ of the required vehicle washing capacity. Wash cycle = 2.5 minutes which equates to 24 cars per hour. $24 / 2 = 12$ cars required stacking spaces. Our site plan shows 29 car stacking spaces at 200 SF per space, over double the required spaces per code.

The proposed \$2 Million dollar express car wash facility will be harmonious with the comprehensive city plan and will enhance and improve on the local area. It will blend in with and relate to the vernacular architecture of the community. It will be situated on the site to follow the E. Broad Street corridor and adjacent local businesses. It will be constructed of masonry stone veneer, split face block, and EIFS (exterior insulation finish system) that will all be neutral in color and relate to adjacent structures. The hip roofs, gutters, fascias and metal coping will relate to the houses to the north, but will be an accented blue per the company color.

The building will not pose any hazards or disturbances to the neighboring adjacent uses. It will be utilizing the latest technologies in LED shielded lighting to securely light the facility yet not spill any light onto the adjacent parcels. Timers will be added to shut off and dim at night as necessary. The site plan also shows screening fence and landscape as required at the north residential lot line. The building incorporates sound deadening design and layout to prevent any sound leakage (see sound test report, attached). The facility is **NOT** open 24 hours (8-7 M-S; 9-5 Sunday) so there will be **NO** evening disturbances.

The facility will adequately be served by the public and city facilities as it has exposure from all 4 sides for complete accessibility. The building is designed to address all 4 sides as a result, and avoid a “back” side. The facility will easily tie into existing sanitary, water, storm utilities, and will have an available dumpster that will be screened with a masonry enclosure to match the building. The building will have a state of the art security alarm and monitoring system to ensure the safety of the employees and the site.

The building will not create any additional hardships to the economic welfare of the community. In fact, the owners feel the building will help fuel the local economy by showing continued growth in the area. The owners want to be involved in the community and participate in supporting activities. Frequently they sponsor local school activities, youth sports and other awareness groups. In particular, they are big supporters of Autism and Alzheimer’s associations at local levels.

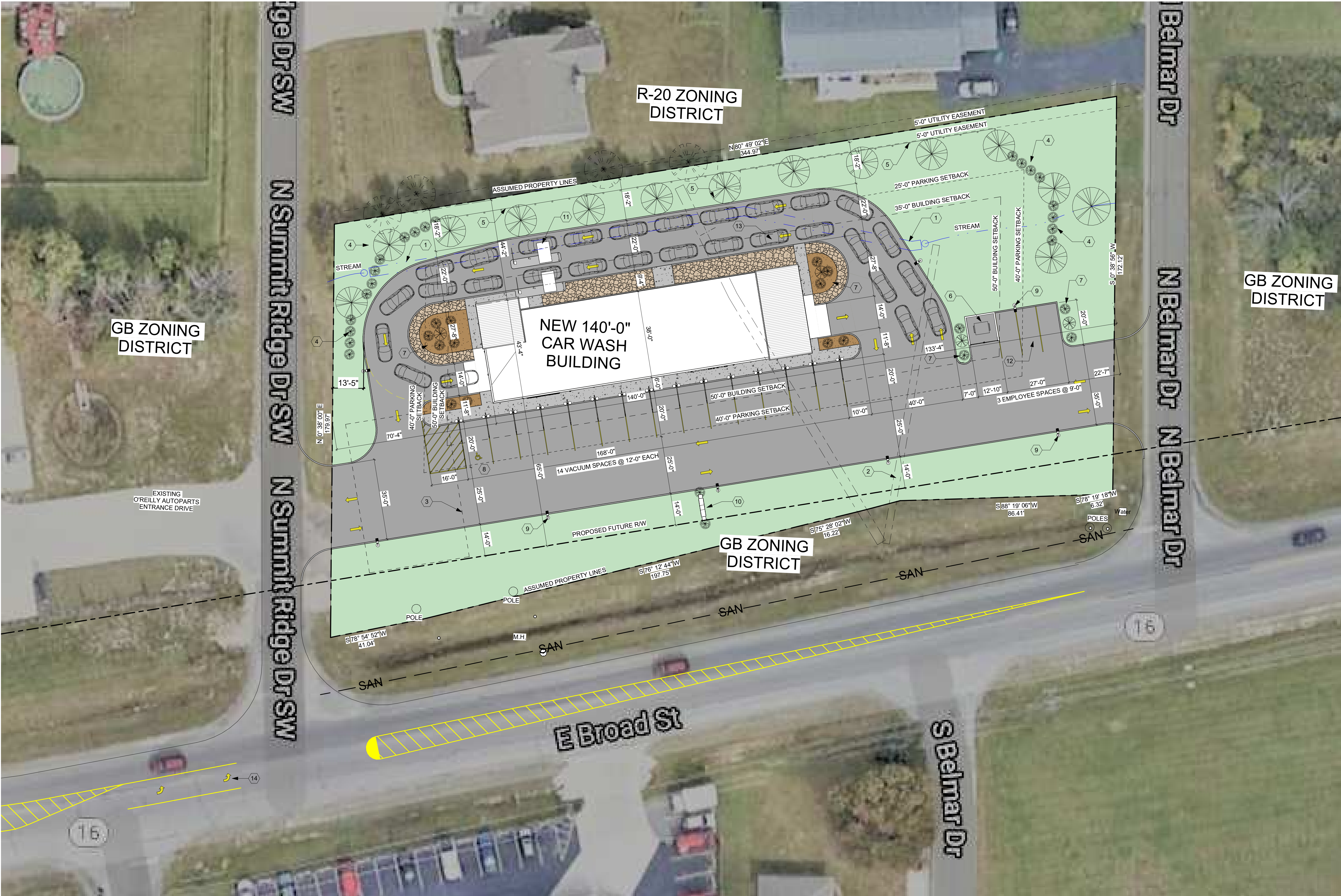
The site will employ between 10-12 employees at an average wage of \$14-16/ hour with career advancement incentives for management positions. Employees have the opportunity to be trained on operations, customers service and other skill sets that translate to growth as an individual in our working society.

The site plan shows (2) 35' wide drive entrances from N. Belmar Drive as well as N. Summit Ridge Drive without adding any additional drives off of E. Broad Street. We are also

proposing a left turn lane off of E. Broad Street that will meet ODOT standards and will prevent any traffic situations as per the TCOD requirements.

The site will use car wash soap that is bio-degradable and environmentally friendly. It will follow a “green” car wash program that is friendly to our environment and community. Express friction car washes do not need to use harsh or noxious chemicals to clean. They are able to operate with highly diluted chemicals due to the application of brushes.

The site plan also notes an underground storm-water detention system that will be properly engineered to not overwhelm the existing storm-water system. We will also be relocating (piping) the existing stream as shown and shall follow all EPA mitigation requirements, permits and regulations. Any trees greater than 6” in diameter will be properly replaced or replenished and the landscape around the stream shall be preserved.



SITE PLAN CODED NOTES

- Proposed location of approximately 245' of stream relocation piping. Existing stream to be relocated and mitigated as per EPA, City of Pataskala and/or Army Corp of Engineer requirements. See Civil Engineering drawings for details.
- Proposed location of new storm water easement and storm water piping to be relocated. See Civil Engineering drawings for details.
- Proposed location for new under-ground storm water detention basin. See Civil Engineering drawings for details.
- L-2 Landscape Standard (a continuous 3' high shrub line/berm/wall with 1 tree per 30 LF) at Front Yards.
- L-4 Landscape standard (a 6' tall vinyl fence, 100% opaque, with 1 tree per 30 LF) at Rear Yard.
- Dumpster (5 yard) and Split Face Masonry screen walls that match building colors and textures. See Elevations for more information.
- New landscape island consisting of gravel, mulch, evergreen shrubs and a small decorative tree.
- 12' wide ADA parking space with 8' (minimum) striped access space, signage, and 1:12 slope access ramp up to sidewalk. Coordinate with Civil drawings.
- 75 W, 9500 LM, 4000K site light fixture on 25' tall pole (Color #1) and 24" wide concrete foundation to be on photocell and shielded to avoid light spillage. 1/2 FC at parking surface. Coordinate with Electrical and Photometric plan. Typical of (8).
- New ground-mounted monument LED-Lit sign (44 SF) on masonry base to match existing building colors and materials. Small bush on each side of sign base. See Elevations for more information.
- Pay station canopy (Color #1), concrete island, gate, as per equipment manufacturer's drawings and specs.
- Staff parking spaces (3) to be 9' wide x 20' deep.
- Stacking space shown (29) @ 200 SF each. See Zoning notes for more information / calculations.
- Left turn only lane added as per City TCOD standards. See Civil drawings for details and specifications.

TCOD WAIVER REQUESTS:

- The following proposed site items do not meet the requirements of the zoning code as documented, but are stated in the TCOD as being approved or disapproved by the Planning and Zoning Commission:
- 1259.05(B): Setbacks:
- Front yard paving setback: 40' required, 14' actual (26' waiver)
 - Rear yard paving setback: 25' required, 18' actual (7' waiver)
 - East Side yard paving setback: 40' required, 22-7" actual (17-5" waiver)
 - West Side yard paving setback: 40' required, 13-5" actual (26-7" waiver)
- 1259.05(D): Storage areas:
- Screened dumpster enclosure is located on side yard (waiver for not being behind building as our building has 3 fronts and the rear yard has a paving setback waiver request already). We added landscape @ dumpster.
- 1259.05(G)(4)(a): Landscape Design Requirements:
- The distance between the building and the parking area on the north side bump-out is 4', and the south side of the building is 6' instead of 8' due to setback challenges. (4' and 2' waivers).

NOTE:

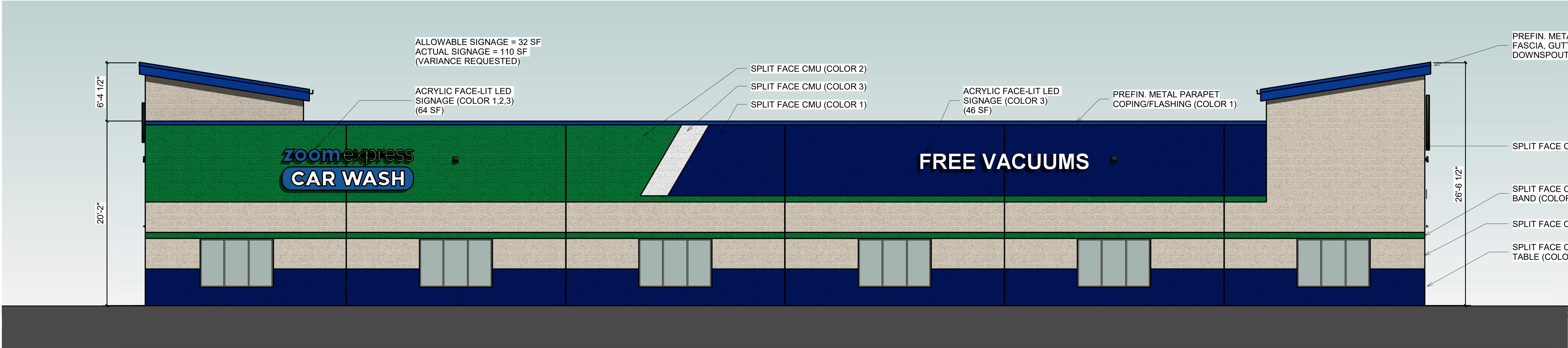
NOTE: AT THE TIME THIS ARCHITECTURAL SITE PLAN DRAWING WAS CREATED, A SITE SURVEY AND/OR CIVIL DRAWINGS WERE NOT AVAILABLE. THIS ARCHITECTURAL SITE PLAN IS BASED ON AERIAL PHOTOS AND/OR TAX MAPS FOR CITY PLANNING COMMISSION OR ZONING APPROVAL ONLY. REFER TO CIVIL DRAWINGS FOR MORE DETAILED SITE INFORMATION AND DIMENSIONS.

SITE PLAN
1" = 20'-0"

ZOOM
EXPRESS
CAR WASH

NORTH BELMAR DRIVE
REYNOLDSBURG, OHIO 43068

ARCHITECTURAL SITE PLAN



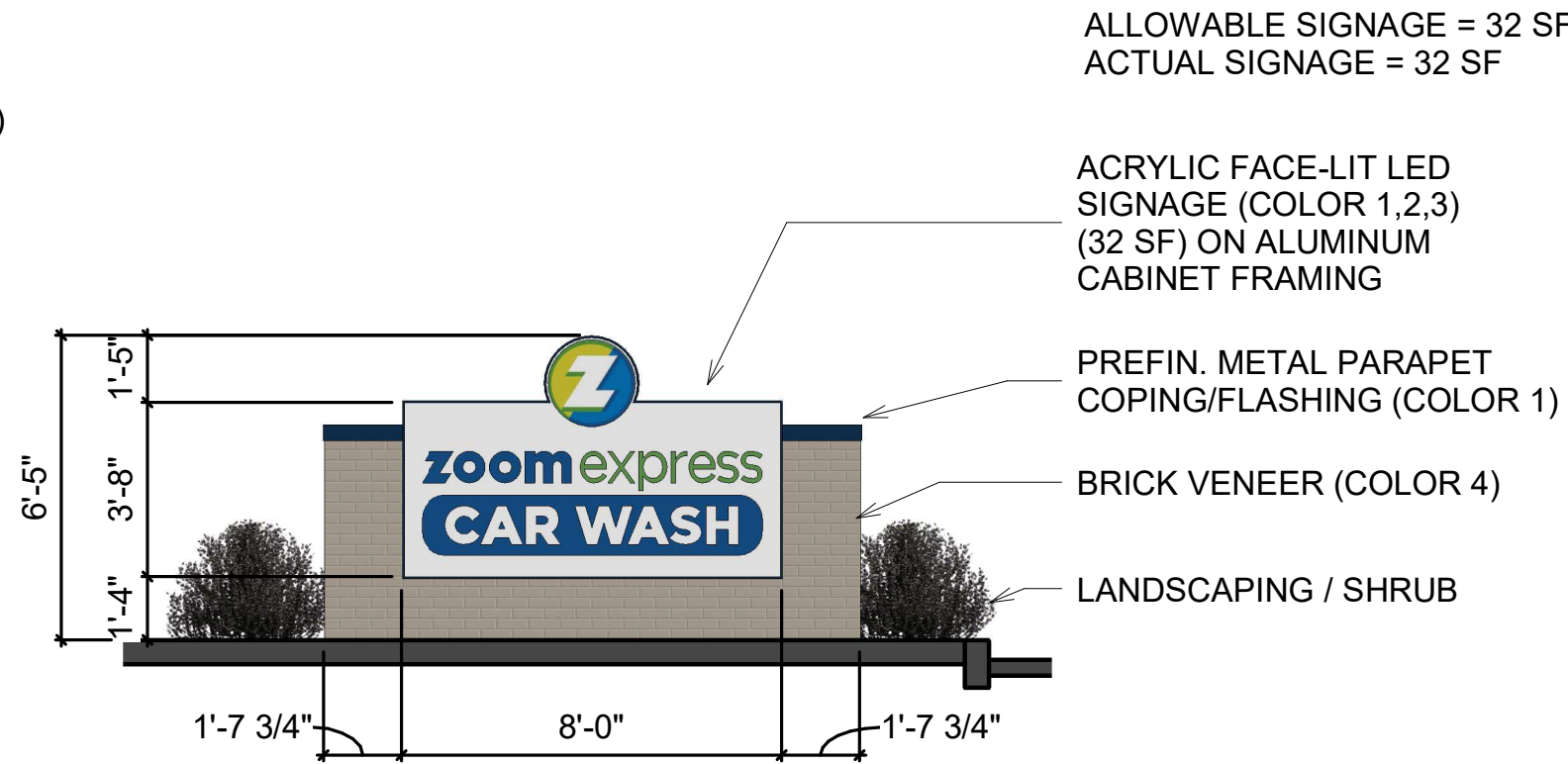
SOUTH EXTERIOR ELEVATION

3/16" = 1'-0"



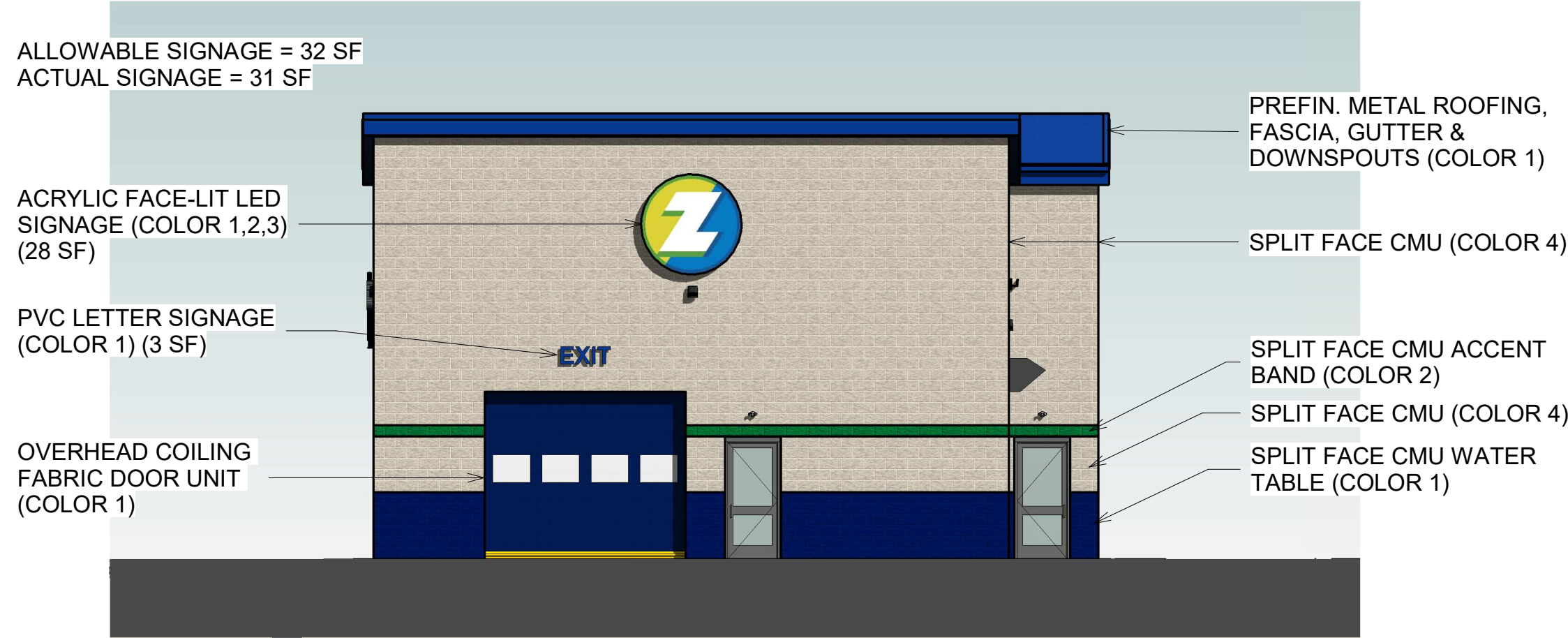
WEST EXTERIOR ELEVATION

1/8" = 1'-0"



SIGN ELEVATION

1/4" = 1'-0"



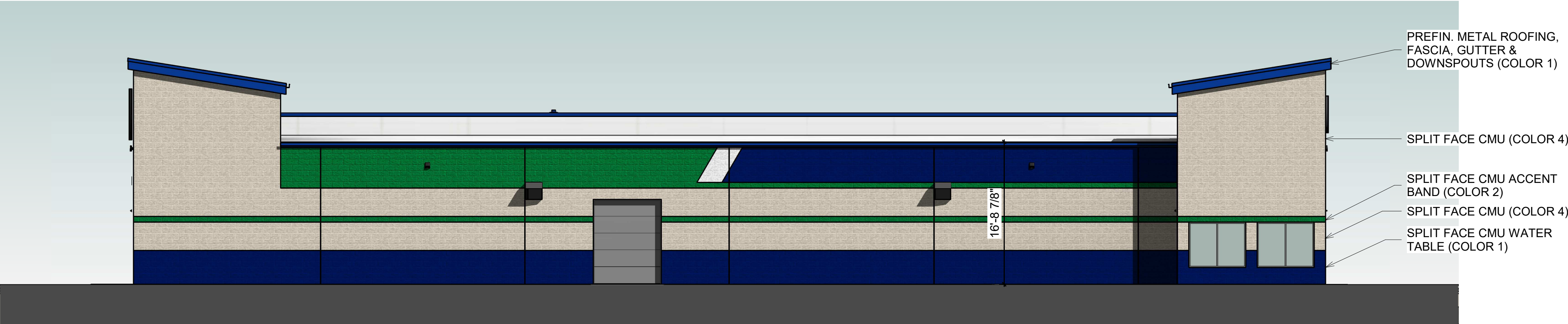
EAST EXTERIOR ELEVATION

1/8" = 1'-0"

COLOR INDEX

EXACT COLOR SCHEME IS TO BE COORDINATED WITH OWNER PRIOR TO ANY PURCHASE OR INSTALLATION.

COLOR 1 = DARK ROYAL BLUE
COLOR 2 = ACCENT LIME GREEN
COLOR 3 = ACCENT WHITE
COLOR 4 = PANDA WHITE



NORTH EXTERIOR ELEVATION

1/8" = 1'-0"

ZOOM
EXPRESS
CAR WASH

NORTH BELMAR DRIVE
REYNOLDSBURG, OHIO 43068

EXTERIOR ELEVATIONS



ARCHITECTURAL RENDERING @
SOUTHWEST CORNER
N.T.S.



ARCHITECTURAL RENDERING @
NORTHEAST CORNER
N.T.S.



ARCHITECTURAL RENDERING @
SOUTHEAST CORNER
N.T.S.

ZOOM EXPRESS CAR WASH



NORTH BELMAR DRIVE
REYNOLDSBURG, OHIO 43068



ARCHITECTURAL RENDERINGS

N Summit Ridge Dr

N Belmar Dr

E Broad St

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.02
	2

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Description
	6	T632LED-58-XX-40	SINGLE	0.900	T632LED Wall mount
	8	T320LEDB-70-UN	SINGLE	0.900	Pole Mount 70w

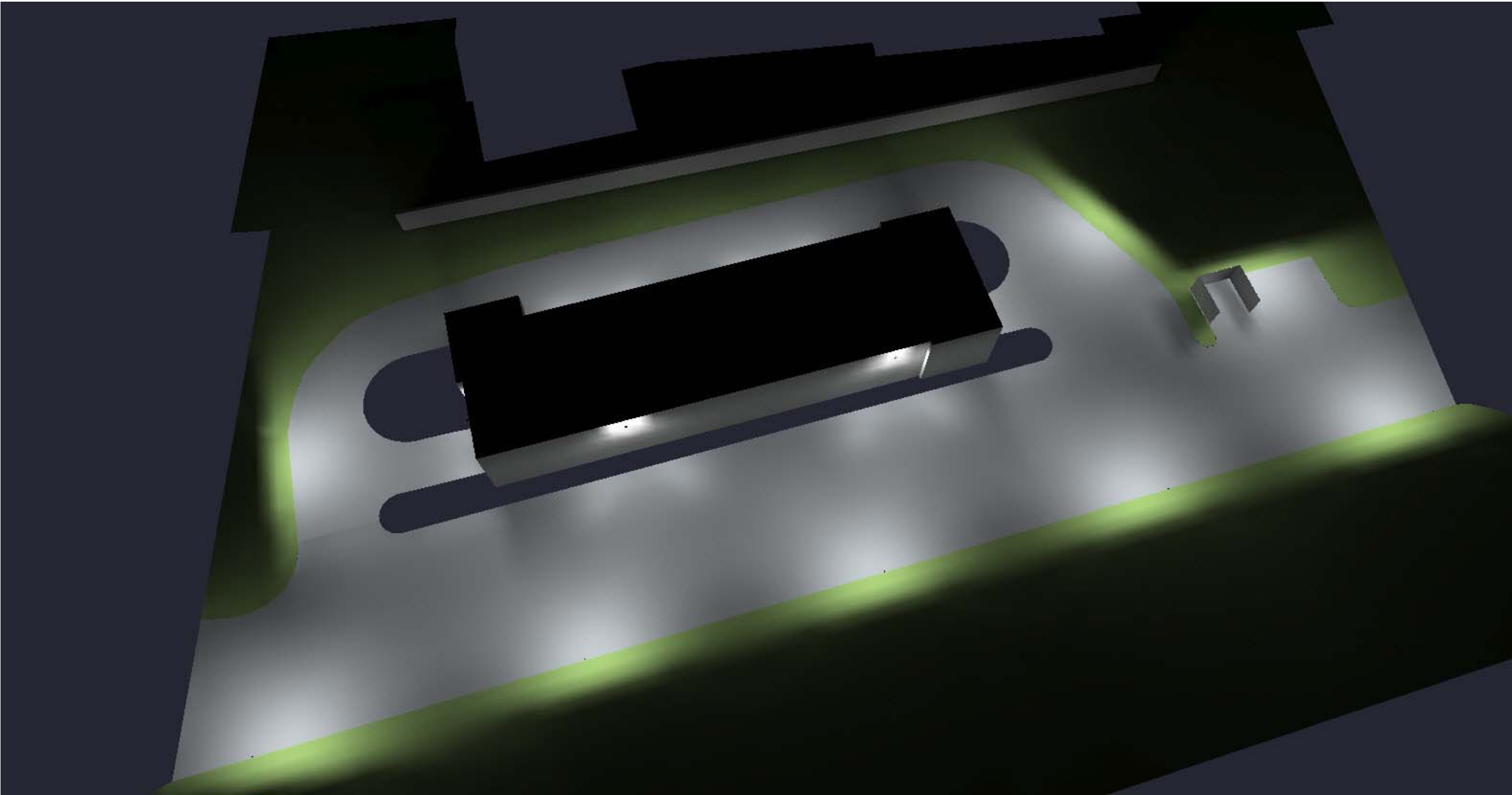
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Adjacent Lot_Adjacen	Illuminanc	Fc	0.00	0.0	0.0	N.A.	N.A.
Grass_Front_Grass_Fr	Illuminanc	Fc	0.32	6.9	0.0	N.A.	N.A.
Grass_Grass	Illuminanc	Fc	0.33	5.9	0.0	N.A.	N.A.
Pavement_Pavement	Illuminanc	Fc	2.27	7.0	0.4	5.68	17.50



#	Date	Comments
Revisions		

Drawn By: CAS	Checked By:	Date: 3/27/2020	Scale:
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Express Car Wash	70 W pole fixtures
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Revisions			
#	Date	Comments	