



CITY OF PATASKALA BOARD OF ZONING APPEALS

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

STAFF REPORT

February 1, 2023

Transportation Corridor Overlay District TCOD-22-002

Applicant:	PVL Investments, LLC.
Owner:	P & G Pataskala, LTD.
Location:	200 W Broad Street, Pataskala, OH 43062 (PID: 064-307692-00.000)
Acreage:	+/- 53.30
Zoning:	GB – General Business / R-10 – High Density Residential
Request:	Requesting approval of a Transportation Corridor Overlay District Application pursuant to Section 1259.07 of the Pataskala Code for the construction of a Retirement Home, Independent Living Villas, and associated site improvements.

Description of the Request:

The applicant is seeking approval of a Transportation Corridor Overlay District application in order to allow for the construction of an Assisted-Living Facility, with additional “Independent Living Villas”, and associated site improvements.

Staff Summary:

The 53.30-acre property located at 200 W Broad Street is currently unoccupied and is split-zoned. The main frontage of Broad Street is zoned GB – General Business, while a small portion of the overall property, mostly corresponding to the existing detention pond at the rear (north) is zoned R-10 – High Density Residential. The property itself is also not entirely contiguous. The largest section, 46.767-acres has frontage on Broad Street to the south, Heron Avenue to the west, and John Reese Parkway to the east. There is also a 2.815-acre area on the west side of Heron Avenue, also with frontage on Broad Street, and then a 3.402-acre area to the east, with frontage on John Reese Parkway and Richard Connie Street. As mentioned before, there is a large detention pond area in the north of the property.

On November 8, 2022, the Board of Zoning Appeals approved a conditional use to allow for the property to be used as an Assisted Living Facility, with Independent Living Villas, and associated site improvements.

The Applicant is now requesting approval of the TCOD application pursuant to Chapter 1259. A General Summary of the proposed development is below. New information or changes to the previous plan are indicated in red.

Structures

- Assisted Living and Memory Care Facility (75 Units)
 - Size: 66,000 square feet, two (2) stories.
 - Setbacks:
 - 82-feet (down from 126.05-feet) from R/W on Broad Street
 - 178.32-feet from East proposed property line.
 - 146.47-feet from West proposed property line.

- Parking:
 - 68 paved asphalt surface parking spaces (inc. 4 ADA Spaces)
- Independent Living Villas (61 units total)
 - Two-Family Attached style dwellings.
 - 24 one (1) bedroom units, 1,190-square feet each.
 - 37 two (2) bedroom units, 1,770-square feet each.
 - Each unit has a driveway onto the interior private roadway.
- Clubhouse
 - Approximately 3,000-square feet
 - 11 paved asphalt surface parking spaces (inc. 2 ADA spaces)
 - Two (2) pickleball courts at the north end of the interior private roadway with parking for six (6).

Access

- West: Two-way entrance onto Heron Avenue.
- South: Right-in/right-out onto Broad Street, with a right turn lane coming into the development.
- Interior private road to serve Independent Living Villas, AL/MC building, and future corner lot.

Landscaping

- Front, Broad Street: L2 provided along frontage of development.
- Front, Heron Avenue: None shown (frontage area appears to be just outside of scale of Landscaping Plans). L2 is required along frontage.
- Side – West: A continuous line of low shrubs, with evergreen and deciduous trees.
- Side – East: None. (None required if not abutting residential use)
- Rear – North: A continuous line of low shrubs, with evergreen and deciduous trees.

Signage

- One (1) monument sign at western entrance to Heron Avenue.
 - 5'-5 ½" in height.
 - 32-square feet in size.
 - Internally illuminated.
- One (1) monument sign at southern entrance to Broad Street.
 - Identical dimensions/form as above.

Following the tabling of the Application at the January 4, 2022, Planning and Zoning Commission Hearing, the Applicant informed Staff their intention is to split the property into three (3) lots total; with the development taking place on 17.29-acres out of the total 53.50-acres. Approximately 17 additional acres to the east will be split off for future development by others, as well as a 1.91-acre corner lot at the intersection of Broad Street and Heron Avenue. The property line for the proposed corner lot is proposed to run down the centerline of the proposed private street to access the Provision Living site.

Staff Review: *The following summary does not constitute recommendations but merely conclusions and suggestions from the Staff Review, the full text of which follows the summary.*

Planning and Zoning Staff:

Staff has drafted a list of comments regarding the Application, which is attached to this Staff Report and includes all comments from the initial Concept Review to now. Comments which have been addressed are struck through, new and remaining comments are indicated in red. A few of the major items are listed beginning on the next page.

- The proposed building height exceeds the 35' maximum height permitted by Section 1249.05(A) by 4-11/32". The Planning and Zoning Commission is unable to approve as proposed, so a Variance will be needed.
- The Transportation Corridor Overlay District requires that sidewalk/paths shall be installed along each developed parcels frontage.
 - There are existing low-hanging overhead electric wires along the right-of-way of Broad Street. The City would prefer any pathway to be within the right-of-way, however, with the low-hanging wires being present, the City believes a fee-in-lieu would be appropriate for the development at this time.
- For uses within the GB zoning district the following landscaping standards must be provided:
 - Frontage: L2
 - L2 shall consist of a continuous shrub line, three (3) feet in height, with one (1) tree per 30 lineal feet.
 - Heron Avenue Frontage: It appears that the frontage on Heron Avenue is cut-off by the scale of the Landscaping Plans and no screening along this frontage is shown.
 - Side: L3 or L4 if abutting a residential use.
 - L3 shall consist of a continuous shrub line, six (6) feet in height with 95% opacity (arborvitae), with one (1) tree per 30 lineal feet. A six (6) foot high fence or wall may be substituted for the shrubs.
 - L4 shall consist of a fence, no less than six (6) feet tall with 100% opacity, plus one (1) tree per 30 lineal feet. In addition, four (4) high shrubs are required per 30 lineal feet of wall.
 - As proposed, the Applicant has provided a continuous line of low shrubs, with deciduous and evergreen trees interspersed along the line between the proposed Development and the adjacent Heron Manor to the west.
 - Proposed screening does not meet the L3 or L4 standard. There is an existing mound (6' in height) and trees within the reserve area of Heron Manor. It is the Applicant's belief that the proposed landscaping in combination with that existing within Heron Manor will be sufficient to properly screen the adjoining uses.
 - Rear: L3 or L4 if abutting a residential use.
 - As proposed, the Applicant has provided a continuous line of low shrubs, with deciduous and evergreen trees interspersed along the line between the proposed Development and the adjacent Heron Manor to the north.
 - As this is a TCOD, per Chapter 1259, the Planning and Zoning Commission may approve, approve with modifications, or disapprove landscaping as proposed.

Should this Application be approved, the next step for the Applicant would be to submit a full site engineering package (Construction Plans) including Stormwater Calculations which is to be approved administratively, followed by the New Commercial Construction Permit (administrative), after which they may begin construction.

Public Service Director (Full comments attached)

1. Stormwater control:
 - a. Stormwater report needed as part of Construction Plans, which will need to verify existing pond can handle additional load.
 - b. Some improvements may be needed to pond.
2. Existing Retention Pond:
 - a. On private property, deed to City for operation. Grubbing and grading around pond will be needed during construction.
3. Future Development at SW corner:
 - a. Must access from private road, no additional access to Broad or Heron will be permitted.

GPD (Full comments attached – Reviewed Traffic Access Study)

- Recommended westbound right turn lane at Broad Street Right In – Right Out access drive. – Provided.

City Engineer (Full comments attached)

- Appropriate signage needed for RI/RO.
- A cross-access agreement needs to be provided with current parcel and parcel to SW to ensure no new access points onto Broad.

Pataskala Utilities (Full comments attached)

- Due to limited capacity, this will likely be the final development granted Sanitary until reclamation facility is expanded.
- Will need at minimum two feed points into development.

West Licking Joint Fire District (Full comments attached)

General comments relating to Fire Code compliance.

Other Departments and Agencies

No other comments were received.

Surrounding Area:

Direction	Zoning	Land Use
North	R-10 – High Density Residential	Heron Manor
East	GB – General Business R-10 – High Density Residential	Vacant Settlement at Pataskala
South	GB – General Business M-1 – Light Manufacturing	Misc. Commercial Misc. Industrial
West	R-10 – High Density Residential GB – General Business	Heron Manor Vacant

Department and Agency Review

- Zoning Inspector – No comments.
- Public Service – See attached.
- City Engineer – No comments.
- GPD – See attached.
- Pataskala Utilities – See attached.
- Police Department – No comments
- West Licking Joint Fire District – See attached.
- Southwest Licking School District – No comments

Conditions:

Should the Board choose to approve the applicant's request, the following conditions may be considered:

1. The Applicant shall address all comments from Planning and Zoning Staff, Public Service Director, City Engineer, Pataskala Utilities, GPD, and the West Licking Joint Fire District.
2. The Applicant shall submit the Construction Plans Application within one (1) year of the date of approval.

Resolution:

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

"I move to approve a Transportation Corridor Overlay District Application TCOD-22-002 pursuant to Section 1259.07 of the Pataskala Code ("with the following conditions" if conditions are to be placed on the approval)."



CITY OF PATASKALA PLANNING & ZONING DEPARTMENT

621 West Broad Street, Suite 2A
Pataskala, Ohio 43062

TCOD-22-002 Staff Review

February 1, 2023

General Plan Comments

- ILV's on the far north side shall not extend beyond the zoning boundary.
 - Again, just a note to keep in mind.
- Indicate Zoning District boundaries on the site plan.
 - **Label GB and R-10**
- ~~Include property line dimensions.~~
- ~~"Wetland Boundary" should be revised to "Conservation Tract" to reflect what it is platted as.~~
- Include a "Notes" section of page 1.
 - **Include note for all interior roadways to be private.**
- ~~Include widths of interior roadways, radius of eyebrow~~
- ~~Dimensions of pickleball courts~~
- ~~Dimensions for sidewalks, front path.~~
- ~~Identify access types (full access, right-in/right-out). If right-in/right-out, will need a "porkchop" or island in the middle.~~
- Sign: size and height okay.
 - Illumination: so long as just the letters are illuminated and not the entire sign (no full face lit cabinet) then that is okay. Appears to be based on rendering.
 - **Minimum setback from R/W is 10'. Please indicate distance from public R/W. 8' is shown from private road but setback only applies to public R/W.**
- ~~For the front yard setback: there are several requirements throughout the code, in summary, the following requirements apply and should be shown on the plan as such.~~
 - ~~The front yard setback, when in the TCOD, shall be based off of the recommend R/W width. That is 60' off centerline. Include a line showing proposed future R/W on the site plan, and base the proposed setback dimension from that line.~~
 - ~~The required front yard setback in GB is 50', show as a line on the site plan from the future R/W.~~
 - ~~Within that 50' setback, there is a further 40' buffer which must be landscaped to the L2 standard.~~
- With the TCOD Application, it is possible to have certain aspects of the proposal approved as proposed. Essentially granting a deviation from the Pataskala Code, subject to approval of the PZC. Those items identified below which do not meet Pataskala Code but are eligible to be approved as proposed are indicated with "*".
 - Again, just a note to keep in mind.
- **For Private Access (shared with SW corner lot): Will need some sort of maintenance agreement and common access agreement/easement.**

Chapter 1249 – General Business District

- ~~1249.04 – Conditionally Permitted Uses~~
 - ~~1249.04(17) All conditionally permitted uses as allowed in the PRO and LB Districts.~~
 - ~~1243.04(1): Nursing Homes are a Conditional Use in the PRO zoning district. Therefore, it is also Conditionally Permitted in GB.~~
 - ~~CU 22-004 Approved by BZA on October 11, 2022.~~

- 1249.05 – General Requirements of the GB District
 - 1249.05(A): Maximum building height is 35-feet.
 - Proposed building height exceeds max at 35'-4 11/32".
 - Will need a Variance for this. Height deviations not allowed under TCOD.
 - 1249.05(C): Setbacks and Yards
 - ~~*1249.05(C)(1): Front Yard shall be 50' in depth when serviced by central water and sewer.~~
 - ~~Show front yard setback as dimension from recommended R/W width.~~
 - ~~Why is dimension from westernmost ILV show at an angle to the rear of the structure? Should be shown from closest point of structure to closest property line.~~
 - *1249.05(C)(2): Side Yard shall be 35' for buildings, and 25' for paved areas when abutting a residential zoning district.
 - With the new information that the SW corner will be separated, that makes the property line down the centerline of the private road become a new Side Yard lot line. 35' setback shown, indicate actual distance for westernmost units, unit at corner.
 - ~~*1249.05(C)(3): Rear Yard shall be 35' for buildings, and 25' for paved areas when abutting a residential zoning district.~~
 - ~~1249.05(D): Maximum lot occupancy of 85% for principal and accessory buildings.~~
 - ~~Provide lot coverage statistics on Page 1 under Site Data. Undoubtedly will meet the 85% with entire lot, just need the numbers.~~
 - 1249.05(G): All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. Screening of trash and garbage areas shall meet the requirements of Section 1283.06. Container systems shall not be located in front yards.
 - ~~Information on refuse disposal for both types of uses will be needed. Indicate location of dumpster(s) and type of screening for the AL/MC building.~~
 - Indicate type of refuse disposal for Independent Living Villas. Will each unit have its own trashcan (typical residential trashcans) or will there be a central dumpster location? Indicate as a note on the first page.
 - I believe the intent was for individual trash cans when we spoke earlier. Indicate so with a note on the plans.

Chapter 1259 – Transportation Corridor Overlay District

- 1259.05 – Design Standards
 - ~~1259.05(A): One or more of the traffic safety measures as defined in 1259.05(A) shall be required in an effort to aid access and traffic management. At the discretion of the Public Service Department.~~
 - ~~Covered by right in turn lane.~~
 - ~~1259.05(B): The front yard setback shall be based on the recommended right of way width as outlined in the Master Thoroughfare Plan.~~
 - ~~See comment in "General" section above.~~
 - ~~1259.05(C): Loading Areas shall be located behind buildings and screen from adjacent unlike uses.~~
 - ~~1259.05(D): Storage areas and trash storage receptacles shall be totally enclosed by structures or opaque fences on four sides, screened from adjacent uses, and be located behind building(s).~~
 - ~~None shown, see comment in Chapter 1249 above.~~

- ~~1259.05(E): New or upgraded utility, cable or other communications lines, and transmission lines located within the TC Overlay District (including those located along the rear property line) shall be located underground~~
 - ~~Place note on the plans stating as such.~~
- 1259.05(F): Sidewalks shall be provided along each developed parcel or upon change in use of an existing developed parcel within the TC Overlay District if a sidewalk does not exist at the time of the development or change in use of the parcel.
 - Fee-in-lieu preferred due to the low height of overhead transmission lines.
 - ~~Along Broad Street this is an 8' wide asphalt path.~~
 - ~~A concrete sidewalk is indicated along the frontage of the AL/MC building, unknown width. This will need to be asphalt and width indicated. No sidewalk shown extending from proposed to the west (heron ave). Fee in lieu or install.~~
 - ~~Fee in lieu possible.~~
- 1259.06 – Site Design Submittal Requirements
 - 1259.06(1): Site Plan – Following information must be shown on the plans.
 - 1259.06(1)(a): The boundaries and dimensions of the lot.
 - Missing front on Broad and Heron.
 - ~~1259.06(1)(b): Size and location of existing and proposed structures.~~
 - ~~Please show the exterior dimensions of the AL/MC building on the elevation pages.~~
 - 1259.06(1)(e): The use of land on adjacent property, within 100 feet of the property line.
 - Put a label on the adjacent Subdivisions for “Heron Manor Phase...” and “Settlement at Pataskala Phase...”
 - ~~1259.06(2): Development Plan~~
 - ~~1259.06(2)(a): All proposed structures shall be located, showing square footage of each structure, expected entrance(s), service, and pedestrian areas.~~
 - ~~On page 2: Only the ILV's on the east side of the site are labeled with bedroom numbers. Indicate the remaining.~~
 - ~~1259.06(2)(b): Traffic concept: All points of ingress and egress onto public roadways and the overall traffic distribution scheme shall be shown, indicating traffic flow patterns and traffic control points. The requirements for a traffic study and the need for “Traffic Safety Measures” shall be at the discretion of the City Engineer and approved, approved with modifications or disapproved by the Planning and Zoning Commission.~~
 - ~~Indicate intended traffic flow with arrows.~~

Chapter 1283 – Landscaping and Screening

- 1283.07 – Application of Landscaping Standards
 - 1283.07(B) for uses within the GB Zoning District:
 - ~~*Front Yard: L2 (any frontage on public R/W)~~
 - ~~L2 shown along south border of parking to west of AL/MC building. No other perimeter screening shown along frontages.~~
 - West Frontage along Heron Ave: Appears just outside of view on Landscaping Plans, cannot tell if there is any there or not. L2 required.
 - *Side Yard: L3 or L4 if abutting a residential use (west, abutting Heron Manor. East, adjacent to undeveloped portion)
 - West: Mix of low shrubs and evergreen/deciduous trees along perimeter of Heron Manor.

- Does not strictly meet L3 or L4 code, up to PZC to approve.
- *Rear Yard: L3 or L4 if abutting a residential use (North, along Heron Manor/Settlement of Pataskala)
 - North: Mix of low shrubs and evergreen/deciduous trees along North side.
 - Does not strictly meet L3 or L4, up to PZC to approve.
- Within General Notes on Page 6/6, provide the following additional notes:
 - Changes and/or Substitutions, including but not limited to species or location, that deviate from the approved Landscaping Plan shall be approved by the Planning and Zoning Department prior to installation.
 - Landscaping shall be maintained in perpetuity.
 - All shrubs shall be maintained at a minimum three foot height.
- ~~1283.06 – Landscaping and Screening Standards~~
 - ~~1283.06(3): L2 shall consist of a continuous shrub line, three (3) feet in height with 95% opacity, with one (1) tree per 30 lineal feet.~~
 - ~~A three (3) foot high mound or wall may be substituted for the shrubs.~~
 - ~~1283.06(4): L3 shall consist of a continuous shrub line, six (6) feet in height with 95% opacity (arborvitae), with one (1) tree per 30 lineal feet.~~
 - ~~A six (6) foot high fence or wall may be substituted for the shrubs.~~
 - ~~1283.06(5): L4 shall consist of a fence, no less than six (6) feet tall with 100% opacity, plus one (1) tree per 30 lineal feet. In addition, four (4) high shrubs are required per 30 lineal feet of wall.~~

Chapter 1291 – Parking and Loading

- 1291.03 – Lighting
 - Any nonresidential parking area with ten or more off-street parking spaces and any residential parking area with 20 or more off-street parking spaces shall be illuminated during periods of darkness to provide an average intensity of 1/2 foot candles of light as measured at the parking surface area. All outdoor lighting shall be constant intensity, and shall be directed, reflected, or shielded.
 - Locations and types of lighting required to be shown. Recommend including photometric plan.
 - Independent Living Villas: Will there be streetlights/front yard light posts, lights on the front of buildings/no lighting? Need information.
- ~~1291.05 – Location of Parking and Loading Spaces~~
 - ~~*1291.05(A)(4): a 40-foot vegetated zone (landscaped to the L2 standard identified in Chapter 1283) shall be maintained between the street right-of-way line.~~
 - ~~See note in “General” above.~~
- 1291.07 – Parking Spaces for People with Disabilities
 - 1291.07(B): Minimum Dimensions: 11’ x 19’ with a 5’ access aisle on one side.
 - Show dimensions of access aisle somewhere.
 - ~~1291.07(C): All spaces shall be designate in conformance with Ohio Manual of Traffic Control Devices.~~
 - ~~Add Note.~~
- ~~1291.11 – Parking and Loading Space Dimensions~~
 - ~~Figure 655 – 1: For 79-90 degree angle parking, spaces shall be 9’ x 19’, with a parking space maneuvering (aisle width between opposite parking spaces) of 20’.~~

- ~~Parking space dimensions/spacing for AL/MC are OK. Need dimensions/spacing for clubhouse, pickleball courts parking areas.~~
- ~~1291.12 – Interior Screening and/or Landscaping~~
 - ~~1291.12(B): Interior parking lot landscaping shall conform to one or a mix of the following options:~~
 - ~~1291.12(B)(1)(a): Option 1 – Interior landscaping shall be provided at the rate of 20 square feet per stall. At least one tree must be provided for every 200 square feet of landscaped area. Ground cover plants as listed in Chapter 1283 must completely cover the remainder of the landscaped area.~~
 - ~~Option 1 has been implemented.~~
 - ~~1291.12(B)(1)(b): Option 2 – One tree must be provided for every four parking spaces. The tree planting area must have a minimum dimension of 25 square feet. All island trees shall be protected from potential damage by vehicles.~~
 - ~~Interior Landscaping provided, but give us some statistics to show compliance with the requirements above. Square footage? Numbers of trees?~~
- ~~1291.15 – Width of Access Driveway~~
 - ~~For two way entrances: 28 feet~~
 - ~~Width of East entrance only 23.81 feet.~~
 - ~~Width of South entrance not shown.~~

From: [Antonio Anzalone](#)
To: [Jack Kuntzman](#); [Felix Dellibovi](#); [Chris Sharrock](#); [Jim Roberts](#); [Scott Haines](#); [Bruce Brooks](#); [Doug White](#); [kperkins@laca.org](#); [Alan Haines](#)
Cc: [Lisa Paxton](#); [Scott Fulton](#)
Subject: RE: Pataskala PZC Review Memo for 02-01-2023
Date: Monday, January 23, 2023 2:27:11 PM
Attachments: [image001.png](#)

Jack,

Please see my and Alan's comments below:

- a. Stormwater control
 - i. A stormwater report will need to be submitted as part of the construction plan application process.
 - ii. The site will presumably drain to the existing retention pond adjacent to this property, and the report will need to verify that the existing pond is sized to accommodate the additional load.
 - iii. Some improvements may be needed to the existing pond/outlet structure.
- b. Existing retention pond is currently on private property
 - i. As part of this development, the existing basin should be deeded to the City for operation and maintenance, as there is not currently an entity having responsibility, nor is there a specific entity that should have responsibility. Specifically, please have P&G Pataskala deed the pond area to the City. The Deed received does not state this.
 - ii. As part of this process, and for the City to accept responsibility of the pond, clearing, grubbing and grading around the pond is requested to be completed to start fresh and make this a usable and maintainable area.
- c. Future Development
 - i. The Future Development site located in the southwest corner of the site (northeast corner of Heron Avenue and Broad Street) must use the two proposed access points (RI/RO on Broad and the connection to Heron Avenue) and will not be allowed to construct a new access on either Heron Avenue or Broad.

Thanks,

Antonio Anzalone
Assistant City Engineer
City of Pataskala
621 W. Broad Street, Suite 2B
Pataskala, Ohio 43062
Office: 740.927.3873
Cell: 740.652.0685
Email: aanzalone@ci.pataskala.oh.us

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Wednesday, January 11, 2023 10:16 AM
To: Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Chris Sharrock <csharrock@ci.pataskala.oh.us>; Jim Roberts <jroberts@verdantas.com>; Scott Haines <shaines@hullinc.com>; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; kperkins@laca.org;

From: [Scott Haines](#)
To: [Jack Kuntzman](#); [Felix Dellibovi](#); [Chris Sharrock](#); [Jim Roberts](#); [Bruce Brooks](#); [Doug White](#); [kperkins@laca.org](#); [Antonio Anzalone](#); [Alan Haines](#)
Cc: [Lisa Paxton](#); [Scott Fulton](#)
Subject: RE: Pataskala PZC Review Memo for 02-01-2023
Date: Monday, January 23, 2023 3:53:09 PM
Attachments: [image001.png](#)

CAUTION: This email message came from an external (non-city) email account. Do not click on any links within the message or attachments to the message unless you recognize the sender's email account and trust the content.

Jack

Verdantas has reviewed the PZC Memo for February and offer the additional comments:

1. TCOD-22-002
 - a. Appropriate signage will be required at the RI/RO to assist cars to not violate and make a left turn and will be reviewed during construction plan submittal.
 - b. The study finds that the southbound lane at the Heron Ave. and Broad St. intersection has an unacceptable service level during PM hours. However, the study does not recommend installing a southbound left turn lane at this location since it is unsignalized for safety concerns. We are not in agreement with these safety concerns and a left turn lane can be installed.
 - c. A cross access agreement needs to be provided with the current parcel and the parcel to the southwest to ensure no new access points onto Broad Street.

Thanks

Scott R. Haines, PE, CPESC

Senior Project Manager

O. 740.344.5451 | D. 740.224.0839

1555 W. Main Street, Newark, Ohio 43055

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>

Sent: Wednesday, January 11, 2023 10:16 AM

To: Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Chris Sharrock <csharrock@ci.pataskala.oh.us>; Jim Roberts <jroberts@verdantas.com>; Scott Haines <shaines@hullinc.com>; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; kperkins@laca.org; Antonio Anzalone <aanzalone@ci.pataskala.oh.us>; Alan Haines <ahaines@ci.pataskala.oh.us>

Cc: Lisa Paxton <lpaxton@ci.pataskala.oh.us>; Scott Fulton <sfulton@ci.pataskala.oh.us>

Subject: Pataskala PZC Review Memo for 02-01-2023

City of Pataskala, Ohio

Provision Living Traffic Access Study

November 2022

11-29-2022, Review Comments

There are minor edit comments for the appendix and table of contents.

The Recommendations section should include a westbound right turn lane at the Broad Street and RI-RO access drive. In reviewing the site plan, this is the shortest access location for any building in the development.

Scott Seaman, PE



GPD Groups

W. Central Ohio/E. Indiana
440 E. Hoewisher Rd.
Sidney, OH 45365
937.497.0200 Phone

S. Ohio/N. Kentucky
8956 Glendale Milford Rd., Suite 1
Loveland, OH 45140
513.239.8554 Phone

From: [Chris Sharrock](#)
To: [Jack Kuntzman](#); [Felix Dellibovi](#); [Jim Roberts](#); [Scott Haines](#); [Bruce Brooks](#); [Doug White](#); kperkins@laca.org; [Antonio Anzalone](#); [Alan Haines](#)
Cc: [Lisa Paxton](#); [Scott Fulton](#)
Subject: RE: Pataskala PZC Review Memo for 02-01-2023
Date: Friday, January 13, 2023 3:49:01 PM
Attachments: [image002.png](#)
[image003.png](#)

Jack,

It is still early in the planning process but I wanted to point out two things that need to be considered:

Sanitary: Due to the limited capacity at the WRF, this will more than likely be the final development that will be granted sanitary service, outside of the projects currently underway.

Water: They will be required to have at least two water feed points to this development. One feed will probably come from the newly installed water main on Heron Ave, but the other will have to come from the water main on Broad Street. That water main is located on the south side of Broad and is a transit water main which is a fragile material and can be difficult to work with.

Outside of those two items meant to be informational, I have no comment on this application at this time.

Thank you,

Chris Sharrock
City of Pataskala
Utility Director
430 South Main Street
csharrock@ci.pataskala.oh.us
Office: (740) 927-4134
Cell: (614) 554-2799



"The soldier is the Army. No army is better than its soldiers." – Gen George Patton

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Wednesday, January 11, 2023 10:16 AM
To: Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Chris Sharrock <csharrock@ci.pataskala.oh.us>; Jim Roberts <jroberts@verdantas.com>; Scott Haines <shaines@hullinc.com>; Bruce Brooks



WEST LICKING JOINT FIRE DISTRICT

www.westlickingfire.org

District Headquarters

851 East Broad Street
Pataskala, Ohio 43062
740-927-8600 [Office]
740-964-6621 [Fax]
www.westlickingfire.org

November 21, 2022

Subject: PVL Investments 200 W Broad St.

Jack,

The West Licking Fire District has reviewed the plans for PVL Investments and we have the following comments.

- 1) Fire hydrants located in a residential area shall be installed every 500'.
- 2) All fire hydrants on a private system shall have the bonnet of the hydrant painted blue.
This comment shall be added to the detail page of the construction plans.
- 3) Each project shall provide 1 spare "screw on" type Stortz fitting for every (5) private fire hydrant installed on the water line to be used at the discretion of the Fire District. They shall be delivered to the Fire District prior to the final acceptance of the project.
This comment shall be added to the detail page of the construction plans.
- 4) All fire hydrants shall have: One (1) 5" Stortz connection / Two (2) 2.5" hose connections. **This comment shall be added to the detail page of the construction plans.**
- 5) Per the Fire Districts regulations section J note (b): All fire hydrants shall be installed every 300' in commercial districts and out of the collapse zone. i.e. 1 ½ times the height of the building.
- 6) All threads provided for the FDC's shall be a 5" Stortz fitting with a 30 degree angle towards the ground and at a height of 36" off of finish grade. **This comment shall be added to the detail page of the construction plans.**
- 7) The Fire District requires that the FDC for the assistance living facility shall be installed in a remote location.
- 8) Per the Fire Districts regulations section K note c: the FDC shall be installed within 40' of a fire hydrant. **This comment shall be added to the detail page of the construction plans.**
- 9) The FDC shall be marked with a red aluminum sign, 18" in height and 24" wide. The sign shall have white letters reading "FDC" that are 6" in height and 1" stroke width.
This comment shall be added to the detail page of the construction plans.
- 10) The water line shall be a minimum of 6" diameter line from the 5" Stortz fitting to the sprinkler riser. **This comment shall be added to the detail page of the construction plans.**
- 11) All fire hydrants, PIV's and FDC's that are in areas subject to vehicular traffic, impact bollards shall be installed per the 2017 edition of the Ohio Fire Code section 312 guidelines. **This comment shall be added to the detail page of the construction plans.**

WEST LICKING JOINT FIRE DISTRICT

www.westlickingfire.org

- 12) FDC's shall be painted fire protection red. **This comment shall be added to the detail page of the construction plans.**
- 13) The following requirements are in addition to NFPA 24, and the Water Department jurisdiction that work is to be performed. Installation requirements: All clamps, rods, rod couplings or turnbuckles, bolts, washers and straps used below ground level shall be stainless steel. **This comment shall be added to the detail page of the construction plans.**
- 14) The Fire Districts Fire Code Official shall inspect all fire line material prior to it being installed in the ground. **This comment shall be added to the detail page of the construction plans.**
- 15) The State Fire Marshal's State fire inspectors shall be notified for all inspections, testing and life safety finals that involve fire protection systems. i.e.: underground fire line, sprinkler systems and fire alarm and any hydro tests for the fire protection systems.
- 16) Where access to or within a structure or an area is restricted because of secured openings or where immediate access for life-saving or firefighting purposes, the Fire Code Official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed per the Fire Districts regulations section G.
- 17) The Fire Districts permit application shall be filled out and permit fees paid in full prior to the start of construction.
- 18) The Fire District requires a 48 hour notice for any inspections and testing.
- 19) The Fire District's regulations can be found on our website at westlickingfire.org

This concludes our comments at this time. If you have any questions please feel free to contact me.

Regards,

Doug White
dwhite@westlickingfire.org
Fire Marshal
West Licking Fire District
851 E. Broad St.
Pataskala Oh 43062
Office Phone # 740-927-3046 Opt. 2
Westlickingfire.org

WEST LICKING JOINT FIRE DISTRICT

www.westlickingfire.org





CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

TRANSPORTATION CORRIDOR OVERLAY DISTRICT APPLICATION

(Pataskala Codified Ordinances Chapter 1259)

Property Information		
Address: E Broad Street, Pataskala OH 43062		
Parcel Number: 064-307692-00.000		
Zoning: GB + R10	Acres: 53.3	
Water Supply:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site
Wastewater Treatment:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site

Staff Use
Application Number: TCOD-22-002
Fee: \$300.00 \$2,500.00 E.R.F.
Filing Date: 11-4-2022
Hearing Date: 12-07-2022 02-01-2023
Receipt Number: 000922/21920

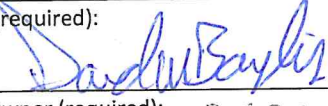
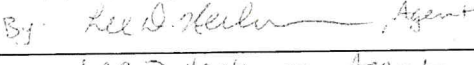
Applicant Information		
Name: PVL Investments, LLC		
Address: 1630 Des Peres Road, Suite 310		
City: St. Louis	State: MO	Zip: 63131
Phone: 314-328-0519	Email: dbaylis@rangeap.com	

Property Owner Information		
Name: P & G PATASKALA LTD		
Address: P.O. Box 3500		
City: Newark	State: OH	Zip: 43058
Phone: (740) 349-3798	Email: thomas.cummiskey@parknationalbank.com	

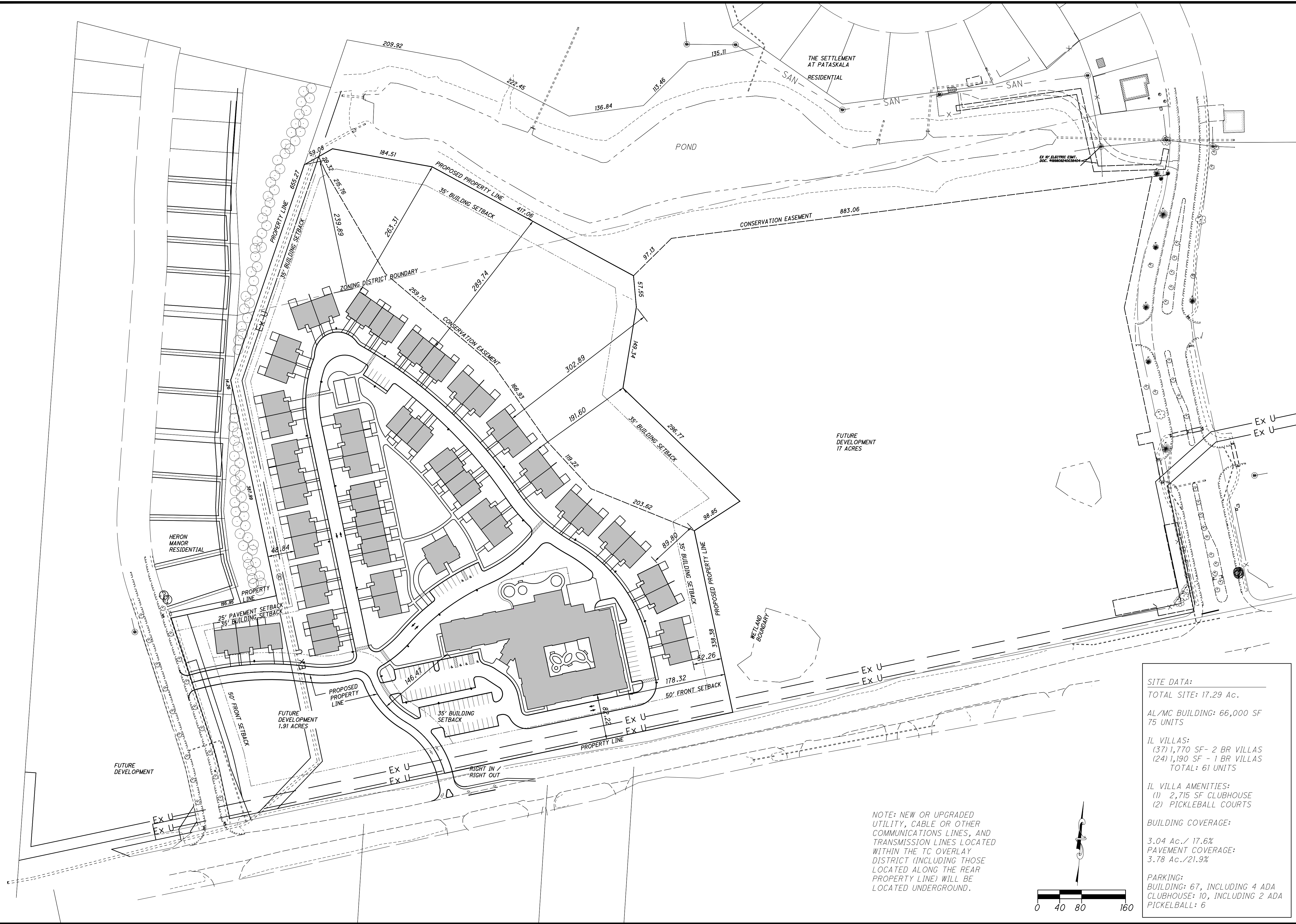
Documents
<input type="checkbox"/> Application
<input type="checkbox"/> Fee
<input type="checkbox"/> Site Plan
<input type="checkbox"/> Development Plan
<input type="checkbox"/> Deed
<input type="checkbox"/> Area Map

Transportation Corridor Overlay District Information
Describe the Project:
Construction of the Phase 1 portion of the 53 acre Development (+/-12.5 Acres) which includes a +/-65,000 SF, 75 unit two-story Assisted Living Facility with accompanying Independent Living Villas (24 One-Bed and 37 Two-Bed Units).
The independent living community will also have their own dedicated clubhouse as well as the campus boasts walking paths throughout with pickleball courts towards the northern end. This development plans to preserve the wooded wetlands area, which promotes great scenery and privacy for future residents.

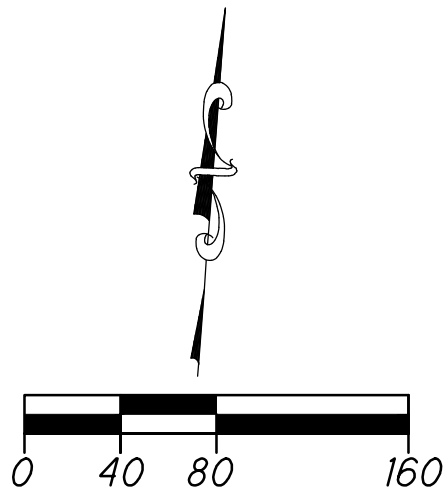
Documents to Submit
Transportation Corridor Overlay District Application: Submit one (1) copy of the Transportation Corridor Overlay District application.
Site Plan: Submit one (1) copy (unless otherwise directed by staff) of a site plan to scale including the following: <ul style="list-style-type: none"> • The boundaries and dimensions of the lot. • The size and location of existing and proposed structures. • The proposed use of all parts of the lot and structures. • All reserve parcels and anticipated development phases. • The use of land and location of structures on adjacent property within 100 feet of the property line. • Existing trees that are six (6) inches or greater in diameter measured five (5) feet above the ground located within the setback.
Development Plan: Submit one (1) copy (unless staff requests additional) of a development plan including the following: <ul style="list-style-type: none"> • Structures: All proposed structures shall be located, showing square footage for each structure, expected entrance(s), service, and pedestrian areas for each phase of the development. • Traffic concept: All points of ingress and egress onto public roadways and the overall traffic distribution scheme shall be shown, indicating traffic flow patterns and traffic control points. The requirements for a traffic study and the need for "Traffic Safety Measures" shall be at the discretion of the City Engineer and approved, approved with modifications or disapproved by the Planning and Zoning Commission. • Parking layout: A parking layout must be shown to include access points and expected movement for all transportation modes through and between separate parking lot areas and expected pedestrian access routes from parking areas and bus stops to structures. • Landscaping: All proposed site landscaping, screening, and buffering shall be indicated as to type and size of material to be used, proposed locations, berming and other features in accordance with Section 1259.05(G). • Proposed location, dimensions, and design of signs. • Elevations of proposed structures or expansion of existing structures including dimensions and materials.
Deed: Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at www.lcounty.com/rec .
Area Map: Submit one (1) copy of an area map from the Licking County Engineer's office showing the property and surrounding area. Area maps can be obtained at www.lcounty.com/taxparcelviewer/default .

Signatures	
I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this Transportation Corridor Overlay District request.	
Applicant (required): 	Date: 11/3/22
Property Owner (required): P+G Pataskala, Ltd. By:  Agent Lee D Heckman, Agent	Date: 11/3/22


Z:\project\Living\Pataskala\LIC-PAT-2201ProvisionLiving-Pataskala\LICPAT2201_SITE_PLAN_SHEETS.dwg 05-Jan-23 2:54 PM



NOTE: NEW OR UPGRADED UTILITY, CABLE OR OTHER COMMUNICATIONS LINES, AND TRANSMISSION LINES LOCATED WITHIN THE TC OVERLAY DISTRICT (INCLUDING THOSE LOCATED ALONG THE REAR PROPERTY LINE) WILL BE LOCATED UNDERGROUND.



SITE DATA:	
TOTAL SITE: 17.29 Ac.	
AL/MC BUILDING: 66,000 SF 75 UNITS	
IL VILLAS:	
(37) 1,770 SF - 2 BR VILLAS	
(24) 1,190 SF - 1 BR VILLAS	
TOTAL: 61 UNITS	
IL VILLA AMENITIES:	
(1) 2,715 SF CLUBHOUSE	
(2) PICKLEBALL COURTS	
BUILDING COVERAGE:	
3.04 Ac./ 17.6%	
PAVEMENT COVERAGE:	
3.78 Ac./21.9%	
PARKING:	
BUILDING: 67, INCLUDING 4 ADA CLUBHOUSE: 10, INCLUDING 2 ADA PICKLEBALL: 6	



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

PROVISION LIVING
CITY OF PATASKALA
OVERALL SITE PLAN

REVISIONS:

FILE NAME OVERALL
DRAWN BY JLH
CHECKED BY MLS
PROJECT No. LICPAT2201
DATE 01/06/2023
SHEET NUMBER 1 OF 6

Z:\project\Living\Pataskala\LIC-PAT-2201ProvisionLiving_Pataskala\LICPAT2201_SITE_PLAN_SHEETS.dwg 05-Jan-23 2:53 PM



ChoiceOne
Engineering

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.299.8554
WWW.CHOICEONEENGINEERING.COM

**PROVISION LIVING
CITY OF PATASKALA
DEVELOPMENT PLAN**

REVISIONS:

FILE NAME	DIMENSION
DRAWN BY	JLH
CHECKED BY	MLS
PROJECT No.	LICPAT2201
DATE	01/06/2023
SHEET NUMBER	2 OF 6

**PROVISION LIVING
CITY OF PATASKALA
LANDSCAPE PLAN - NORTH**

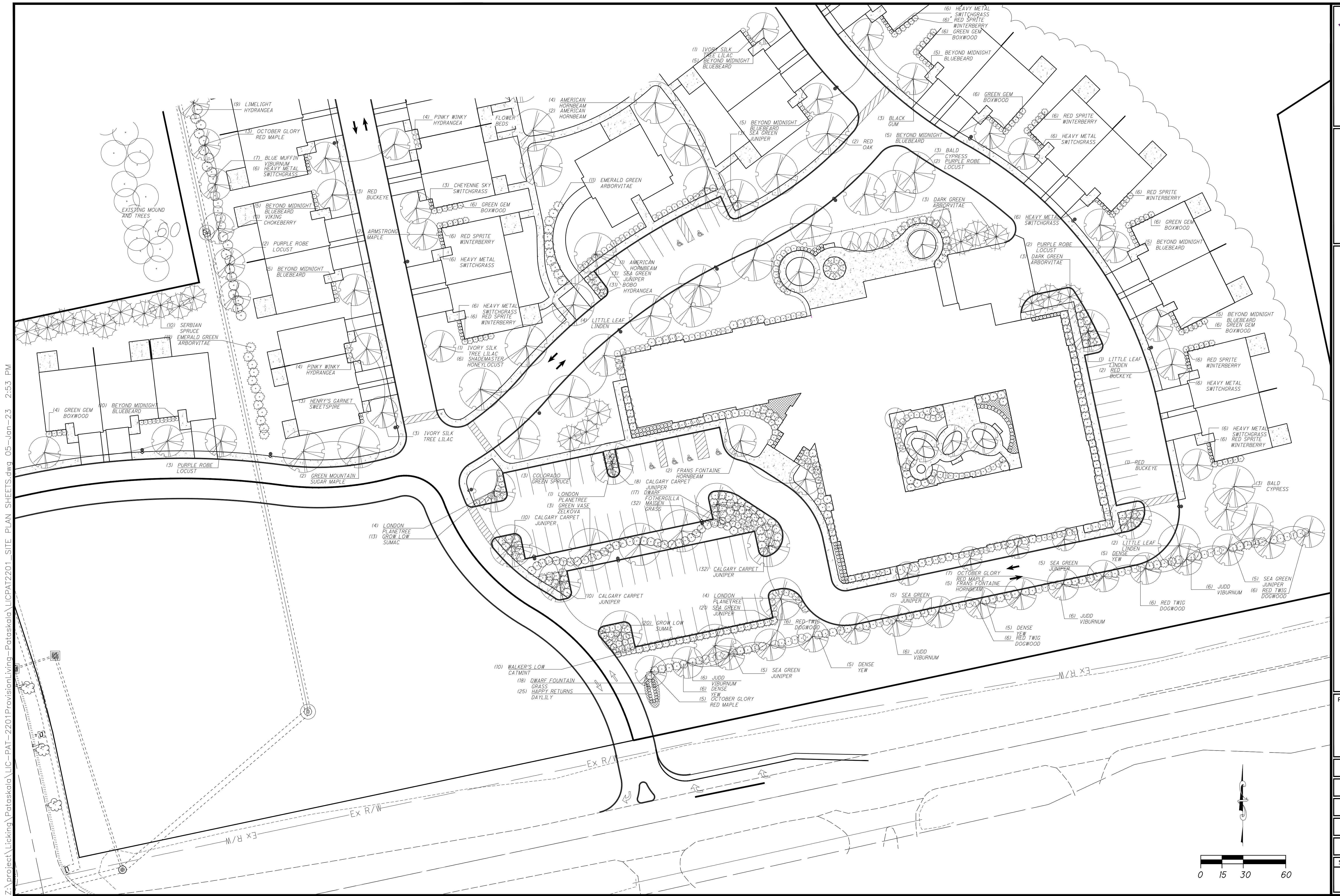
REVISIONS:

FILE NAME LP NORTH
DRAWN BY JLH
CHECKED BY MLS
PROJECT No. LICPAT2201
DATE 01/06/2023
SHEET NUMBER

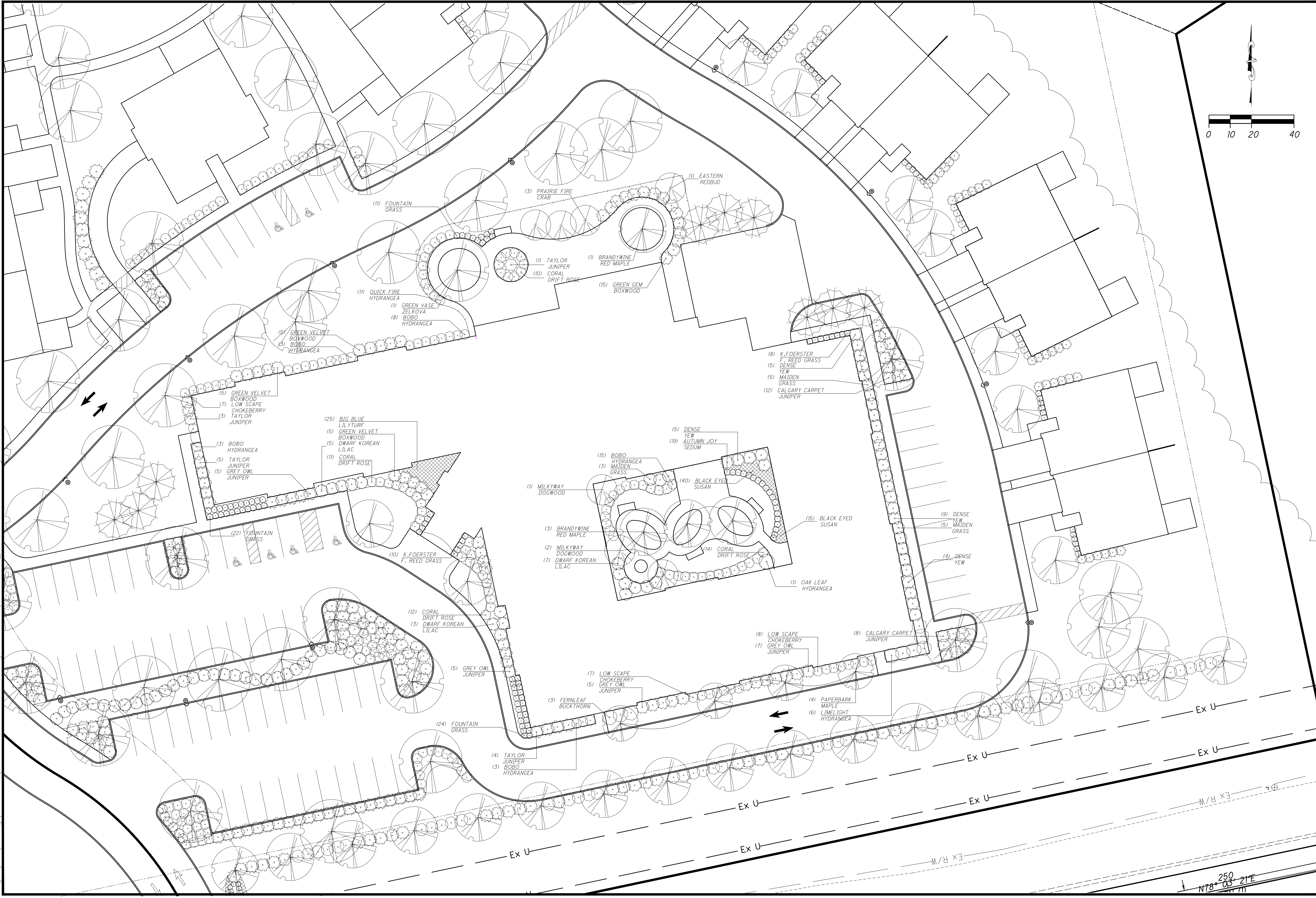



**PROVISION LIVING
CITY OF PATASKALA
LANDSCAPE PLAN - SOUTH**

REVISIONS:
FILE NAME LP SOUTH
DRAWN BY JLH
CHECKED BY MLS
PROJECT No. LICPAT2201
DATE 01/06/2023
SHEET NUMBER 4 OF 6



Z:\project\Licking\Pataskala\LC - PAT - 2201\ProvisionLiving-Pataskala\LCPAT2201 SITE PLAN SHEETS.dwg 05-Jan-23 2:53 PM





SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

**PROVISION LIVING
CITY OF PATASKALA
LANDSCAPE PLAN - BLDG**

REVISIONS:

FILE NAME	LP BLDG
DRAWN BY	JLH
CHECKED BY	MLS
PROJECT No.	LCPAT2201
DATE	01/06/2023
SHEET NUMBER	5 OF 6

Z:\project\Licking\Pataskala\LIC-PAT-2201ProvisionLiving_Pataskala\LICPAT2201_SITE_PLAN_SHEETS.dwg 05-Jan-23 2:53 PM

PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
5	NORWAY SPRUCE	PICEA ABIES	7' HGT.	B&B
9	SERBIAN SPRUCE	PICEA OMORIKA	7' HGT.	B&B
2	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL.	B&B
6	AMERICAN HORNBEAM	CARPINUS CAROLINIANA	2" CAL.	B&B
3	CHINKAPIN OAK	QERCUS MUEHLENBERGII	2" CAL.	B&B
10	RED BUCKEYE	AESCULUS PAVIA	2" CAL.	B&B
11	LITTLE LEAF LINDEN	TILIA CORDATA	2" CAL.	B&B
6	DARK GREEN ARBORVITAE	THUJA O. 'NIGRA'	7' HGT.	B&B
12	ALLEGHENY SERVICEBERRY	AMELANCHIER LAEVIS	12' HGT.	B&B
6	SHADEMASTER HONEYLOCUST	GLEDITSIA T. I. 'SHADEMASTER'	2" CAL.	B&B
5	WHITE FIR	ABIES CONCOLOR	7' HGT.	B&B
11	PURPLE ROBE LOCUST	ROBINIA P. 'PURPLE ROBE'	2" CAL.	B&B
3	EASTERN WHITE PINE	PINUS STROBUS	7' HGT.	B&B
6	AMSTRONG MAPLE	ACER RUBRUM 'ARMSTRONG'	2" CAL.	B&B
9	BALD CYPRESS	TAXODIUM DISTICHUM	2" CAL.	B&B
10	IVORY SILK TREE LILAC	SYRINGA RETICULATA	7' HGT.	B&B
8	KATSURA TREE	CERCIDIPHYLLUM JAPONICUM	2" CAL.	B&B
6	BLACK GUM	NYSSA SYLVATICA	2" CAL.	B&B
9	AUTUMN BLAZE RED MAPLE	ACER RUBRUM 'AUTUMN BLAZE'	2" CAL.	B&B
6	LONDON PLANETREE	PLATANUS ACERIFOLIA	2" CAL.	B&B
2	FRANS FONTAINE HORNBEAM	CARPINUS BETULUS 'FRANS FONTAINE'	2" CAL.	B&B
3	GREEN VASE ZELKOVA	ZELKOVA 'GREEN VASE'	2" CAL.	B&B
3	COLORADO GREEN SPRUCE	PICEA PUNGENS	7' HGT.	B&B
2	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM 'GREEN MOUNTAIN'	2" CAL.	B&B
2	RED OAK	QUERCUS RUBRA	2" CAL.	B&B

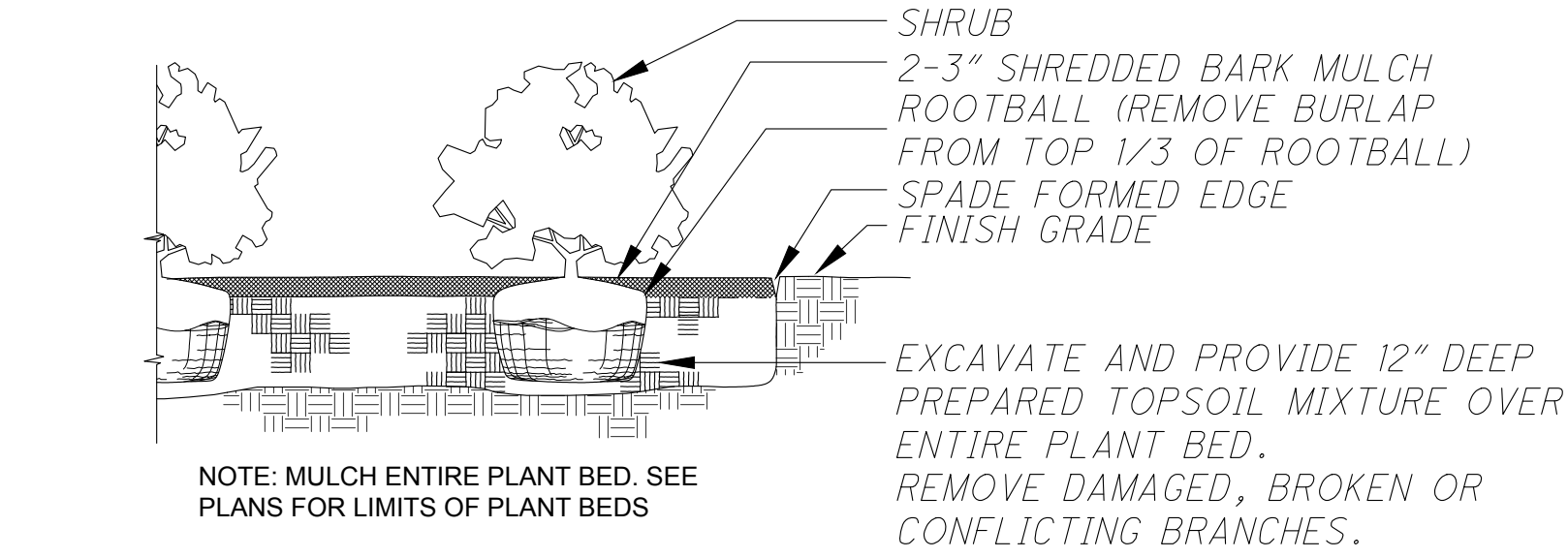
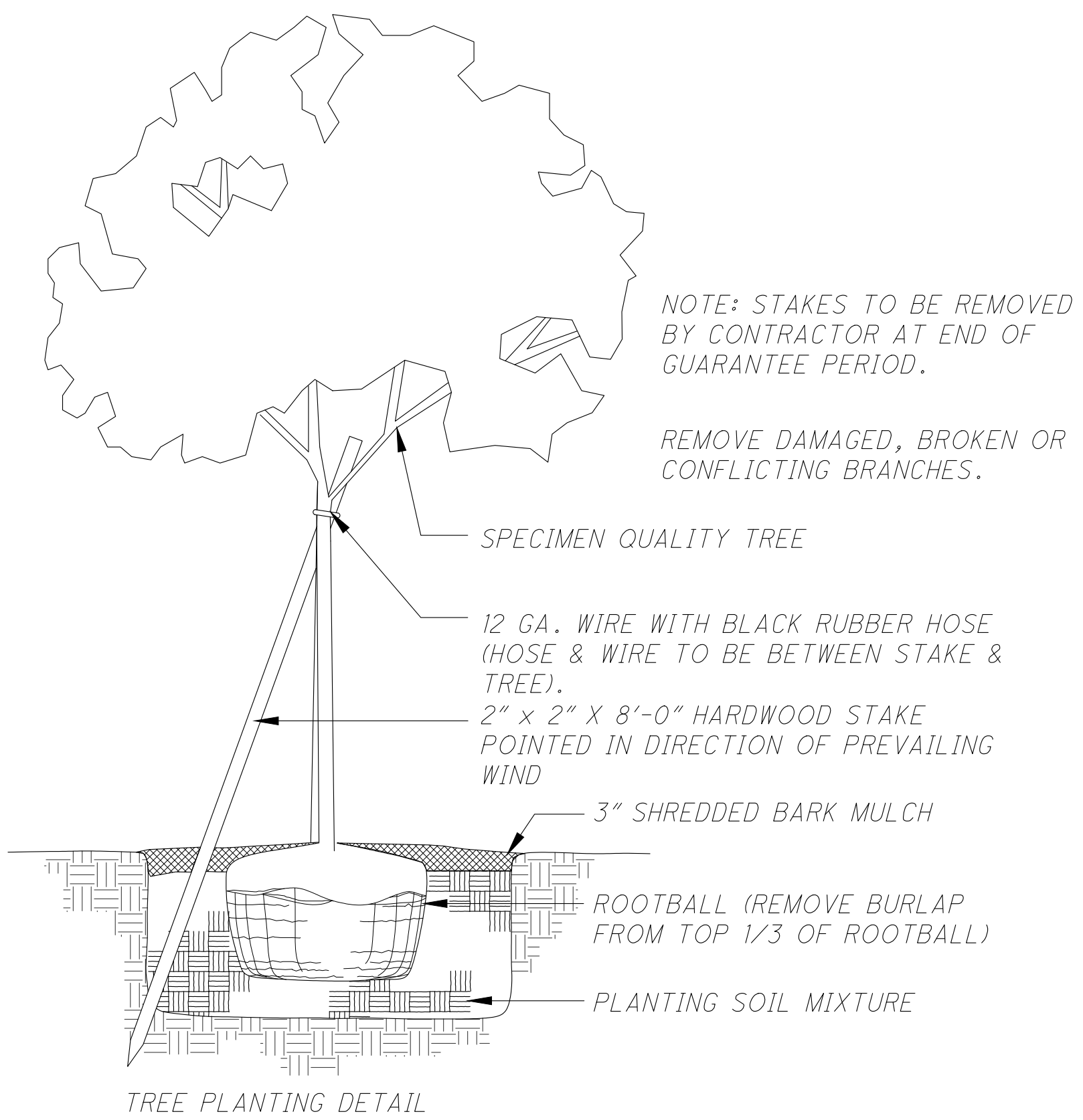
SHRUBS				
5	LIMELIGHT HYDRANGEA	HYDRANGEA P. LIMELIGHT'	24" SPR.	NO. 7 CONT.
28	PINKY WINKY HYDRANGEA	HYDRANGEA P. 'PINKY WINKY'	24" SPR.	NO. 7 CONT.
62	RED SPRITE WINTERBERRY	ILEX VERTICILLATA 'RED SPRITE'	18" SPR.	NO. 5 CONT.
74	GREEN GEM BOXWOOD	BUXUS 'GREEN GEM'	24" SPR.	B&B
12	VIKING CHOKEBERRY	ARONIA MELANOCARPA 'VIKING'	48" SPR.	B&B
14	BLUE MUFFIN VIBURNUM	VIBURNUM DENTATUM 'CHRISTOM'	48" SPR.	B&B
21	SEA GREEN JUNIPER	JUNIPERUS CH. 'SEA GREEN'	24" SPR.	B&B
80	BEYOND MIDNIGHT CARYOPTERIS	CARYOPTERIS X CLANDONENSIS	18" Spr.	B&B
12	HENRY'S GARNET SWEETSPIRE	ITEA VIRGINICA	18" SPR.	NO. 3 CONT.
GROUNDCOVER / GRASSES				
96	HEAVY METAL SWITCHGRASS	PANICUM VIRGATUM 'HEAVY METAL'	CLUMP	NO. 3 CONT.
6	CHEYENNE SKY SWITCHGRASS	PANICUM VIRGATUM 'CHEYENNE SKY'	CLUMP	NO. 3 CONT.

PLANTING SCHEDULE- BUILDING

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
1	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL.	B&B
4	BRANDYWINE RED MAPLE	ACER RUBRUM 'BRANDYWINE'	2" CAL.	B&B
3	PRAIRIE FIRE CRAB	MALUS 'PRAIRIE FIRE'	2" CAL.	B&B
1	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL.	B&B
4	PAPERBARK MAPLE	ACER GRISEUM	2" CAL.	B&B
3	MILKYWAY DOGWOOD	CORNUS KOUSA	2" CAL.	B&B

SHRUBS				
6	LIMELIGHT HYDRANGEA	HYDRANGEA P. LIMELIGHT'	24" SPR.	NO. 7 CONT.
9	TAYLOR JUNIPER	JUNIPERUS V. 'TAYLOR'	6' HGT.	B&B
47	CORAL DRIFT ROSE	ROSA 'MEIDRIFORA'	18" SPR.	NO. 3 CONT.
15	GREEN GEM BOXWOOD	BUXUS 'GREEN GEM'	24" SPR.	B&B
11	QUICK FIRE HYDRANGEA	HYDRANGEA P. 'QUICK FIRE'	24" SPR.	NO. 5 CONT.
32	BOBO HYDRANGEA	HYDRANGEA P. 'BOBO'	24" SPR.	NO. 5 CONT.
15	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	24" SPR.	B&B
29	LOWSCAPE CHOKEBERRY	ARONIA MELANOCARPA 'UCONNAMI65'	18" Spr.	NO. 3 CONT.
22	GREY OWL JUNIPER	JUNIPERUS V. 'GREY OWL'	18" SPR.	NO. 3 CONT.
15	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	24" SPR.	NO. 5 CONT.
3	FERNLEAF BUCKTHORN	RHAMNUS FRANGULA 'ASPLENIFOLIA'	3' HGT.	NO. 5 CONT.
1	OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA	24" SPR.	B&B
23	DENSE YEW	TAXUS DENSIFORMIS	18" Spr.	NO. 3 CONT.

GROUNDCOVER / GRASSES				
57	FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	CLUMP	NO. 3 CONT.
18	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA	CLUMP	NO. 3 CONT.
13	MAIDEN GRASS	MISCANTHUS	CLUMP	NO. 3 CONT.
25	WALKER'S LOW CATMINT	NEPETA X FAASENII 'WALKER'S LOW'	CLUMP	NO. 1 CONT.
55	BLACK EYED SUSAN	RUDBECKIA	CLUMP	NO. 1 CONT.
19	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	CLUMP	NO. 1 CONT.



SHRUB PLANTING DETAIL

INSTALLATION NOTES

- IF NOT READILY APPARENT, LOCATE ROOT FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
- DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE TREE BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED ROOT FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
- LIFT ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF ROOT FLARE IS LEVEL WITH THE SURROUNDING SOIL.
- REMOVE ALL TWINE FROM THE ROOT BALL. IF PRESENT, REMOVE AND DISCARD AT LEAST THE TOP ONE HALF OF THE WIRE BASKET. BURLAP SHALL BE REMOVED FROM THE TOP TO A POINT HALFWAY DOWN THE ROOT BALL AND DISCARDED.
- WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
- MULCH THE ENTIRE PLANTING SURFACE WITH MULCH APPLIED NO LESS THAN TWO INCHES DEEP AND NO MORE THAN THREE INCHES DEEP, LEAVING THREE INCHES ADJACENT TO THE TREE TRUNK FREE OF MULCH.
- SPECIES AND SIZE IDENTIFIED IN PLANT SCHEDULE, GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE WORK.
- PROVIDE HEALTHY, SOUND, VIGOROUS PLANT MATERIALS, FREE FROM PLANT DISEASES, INSPECT PESTS, HEALTHY WELL-DEVELOPED ROOT SYSTEMS, FRESHLY DUG, NURSERY GROWN, WELL-BRANCHED, DENSELY FOLIATED WHEN IN LEAF AND WELL-PROPORTIONED, PARTICULARLY WITH RESPECT TO THE WIDTH-HEIGHT RELATIONSHIP.
- DAMAGED OR BROKEN BRANCHES, BROKEN BALL AND LOOSE TOP BALL ARE.
- SET PLANTS IN CENTER OF HOLE, PLUMB AND STRAIGHT. REMOVE 1/3 TOP OF BURLAP (IF APPLICABLE).
- SATURATE SOIL WITH WATER WHEN THE HOLE IS HALF FULL OF TOPSOIL AND AGAIN WHEN FULL.
- DO NOT INSTALL PLANT LIFE WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F.

GENERAL NOTES

- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS AND TOPSOIL PROVIDED BY GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. SUBSTITUTED MATERIAL SHALL BE EQUIVALENT OR GREATER IN SIZE THAN THE SPECIFIED PLANT. SUBSTITUTED PLANTS SHALL HAVE THE SAME ESSENTIAL CHARACTERISTICS AND GROWTH HABIT OF THE SPECIFIED PLANT.
- CONFIRM LOCATION OF ALL UTILITIES AND SUBSURFACE DRAIN LINES PRIOR TO PLANT INSTALLATION.
- CONTRACTOR MAY SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL REPAIR ALL LAWN AREAS DISTURBED DURING CONSTRUCTION WITH SEED AND WARRANT A HEALTHY, WEED FREE LAWN PRIOR TO PROJECT ACCEPTANCE.
- SEED ALL AREAS WITHIN CONTRACT LIMITS THAT ARE NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SEEDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND FINISHED GRADE.
- MULCH PLANTING BEDS WITH SHREDDED HARDWOOD MULCH OF UNIFORM DARK BROWN COLOR. IT SHALL BE FREE OF TWIGS, LEAVES DISEASE, PEST OR OTHER MATERIAL UNSIGHTLY OR INJURIOUS TO PLANTS. AVERAGE APPLIED THICKNESS SHALL BE 3" DEPTH. MULCH HEDGES IN A CONTINUOUS BED.
- BED EDGE SHALL BE SMOOTH, CONSISTENT, HAND TRENCHED 6" DEEP AND "V" SHAPED UNLESS OTHERWISE NOTED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS OR STRAIGHT LINES AS SHOWN ON PLAN.
- INSTALL ALL PLANTS IN ACCORDANCE WITH PLANING DETAILS AND SPECIFICATIONS.
- PARKING LOT AND STREET TREES SHALL HAVE A CLEAR CANOPY HEIGHT OF 6' MIN.
- TREE SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS AND CURBS.
- LAWN AREAS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM SETTLED THICKNESS OF 6 INCHES.
- CONTRACTOR TO DETERMINE PLANT LIST QUANTITIES FROM THE PLAN. GRAPHIC REPRESENTATION ON PLAN SUPERSEDES IN CASE OF DISCREPANCY WITH QUANTITIES ON SCHEDULE.
- CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTS AT TIME OF INSTALLATION AND AS NEEDED UNTIL PROJECT ACCEPTANCE BY OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF GUARANTEE PERIOD.

INTERIOR PARKING LANDSCAPE:

FRONT LOT:

TOTAL PARKING SPACES: 55
TOTAL SQUARE FOOTAGE REQUIRED: 1,100 SF
TOTAL SQUARE FOOTAGE OF LANDSCAPE PROVIDED: 5,193 SF
TREES REQUIRED: 6
TREES PROVIDED: 11

CLUBHOUSE:

TOTAL PARKING SPACES: 10
TOTAL SQUARE FOOTAGE REQUIRED: 200 SF
TOTAL SQUARE FOOTAGE OF LANDSCAPE PROVIDED: 622 SF
TREES REQUIRED: 1
TREES PROVIDED: 4

EAST LOT:

TOTAL PARKING SPACES: 12
TOTAL SQUARE FOOTAGE REQUIRED: 240 SF
TOTAL SQUARE FOOTAGE OF LANDSCAPE PROVIDED: 618 SF
TREES REQUIRED: 2
TREES PROVIDED: 2

PICKELBALL LOT:

TOTAL PARKING SPACES: 6
TOTAL SQUARE FOOTAGE REQUIRED: 120 SF
TOTAL SQUARE FOOTAGE OF LANDSCAPE PROVIDED: 226 SF
TREES REQUIRED: 1
TREES PROVIDED: 2

CODE: 1291.12(B)(1)(a): OPTION 1- INTERIOR LANDSCAPING SHALL BE PROVIDED AT THE RATE OF 20 SQUARE FEET PER STALL. AT LEAST ONE TREE MUST BE PROVIDED FOR EVERY 200 SQUARE FEET OF LANDSCAPED AREA. GROUND COVER PLANTS AS LISTED IN CHAPTER 1283 MUST COMPLETELY COVER THE REMAINDER OF THE LANDSCAPED AREA.



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.299.8554

WWW.CHOICEONEENGINEERING.COM

PROVISION LIVING
CITY OF PATASKALA
LANDSCAPE PLAN - NOTES

REVISIONS:

FILE NAME

LP NOTES

DRAWN BY

JLH

CHECKED BY

MLS

PROJECT No.

LICPAT2201

DATE

01/06/2023

SHEET NUMBER

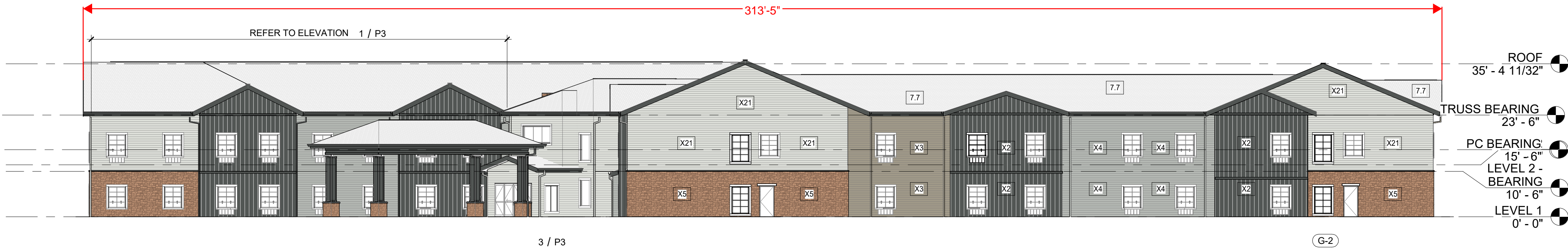
6 OF 6

PROVISION LIVING PATASKALA | PATASKALA, OHIO 43062

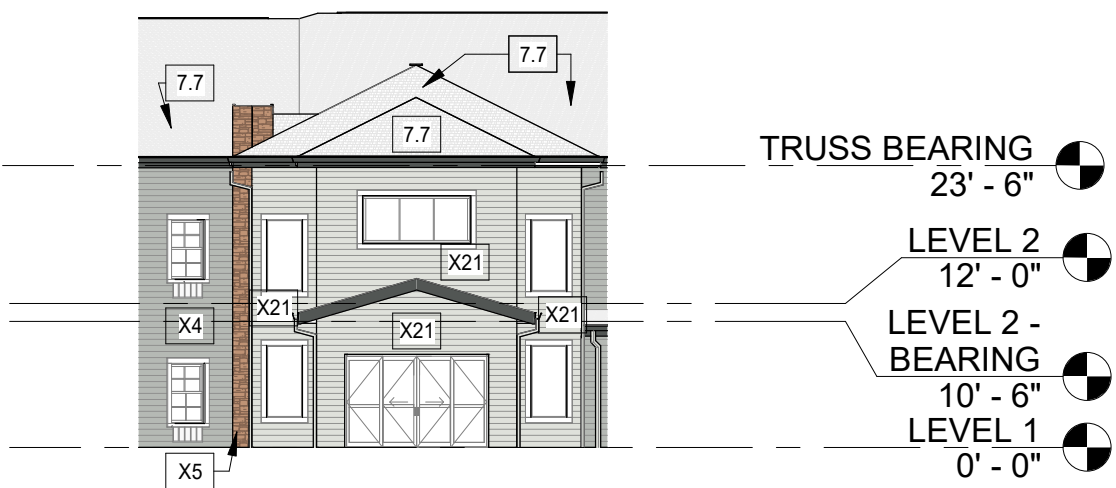
PROJECT NUMBER: GAP1042 DATE: 10.31.2022



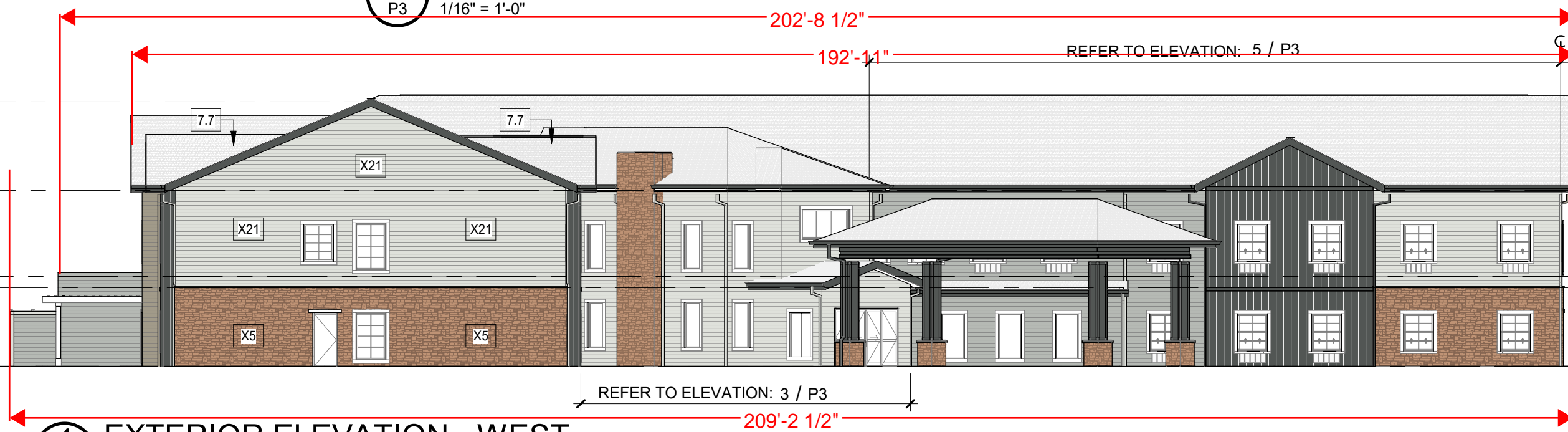
1 EXTERIOR ELEVATION - WING 'B'



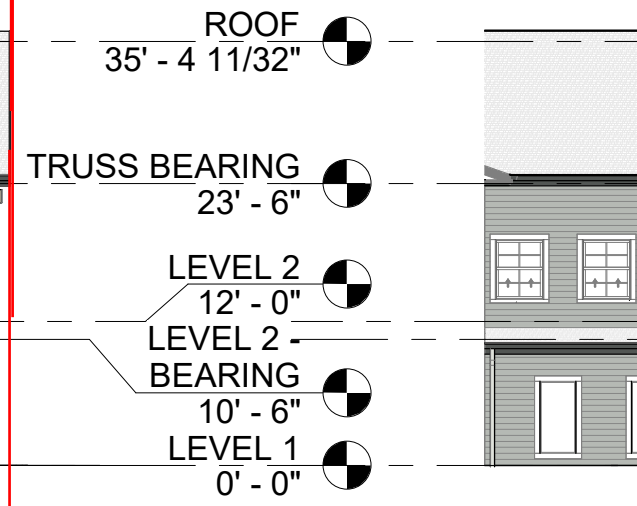
2 EXTERIOR ELEVATION - SOUTH



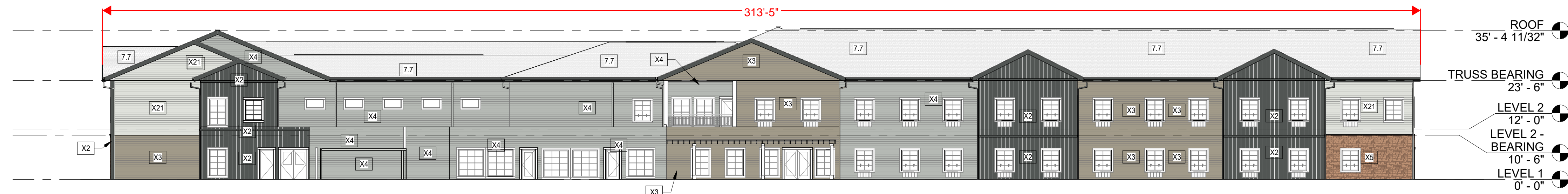
3 EXT. ELEV. @ ENTRY



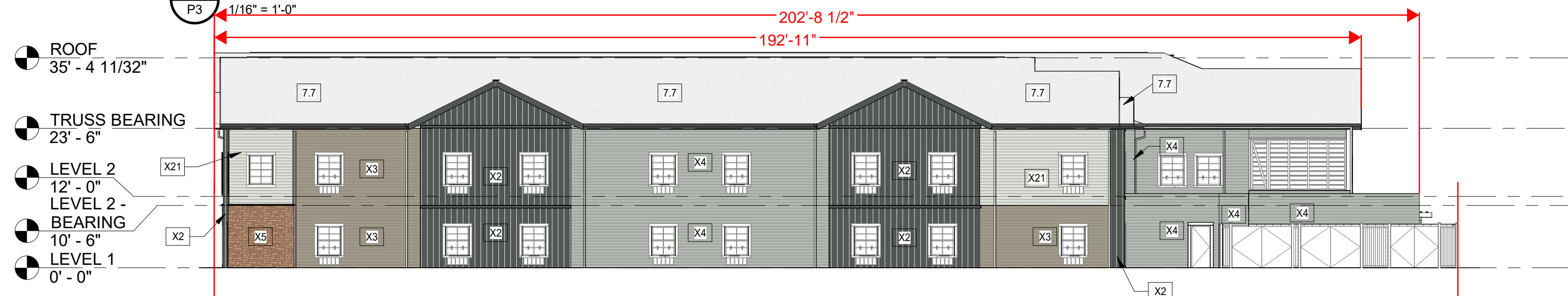
4 EXTERIOR ELEVATION - WEST



5 EXT. ELEV. @ WING 'C'

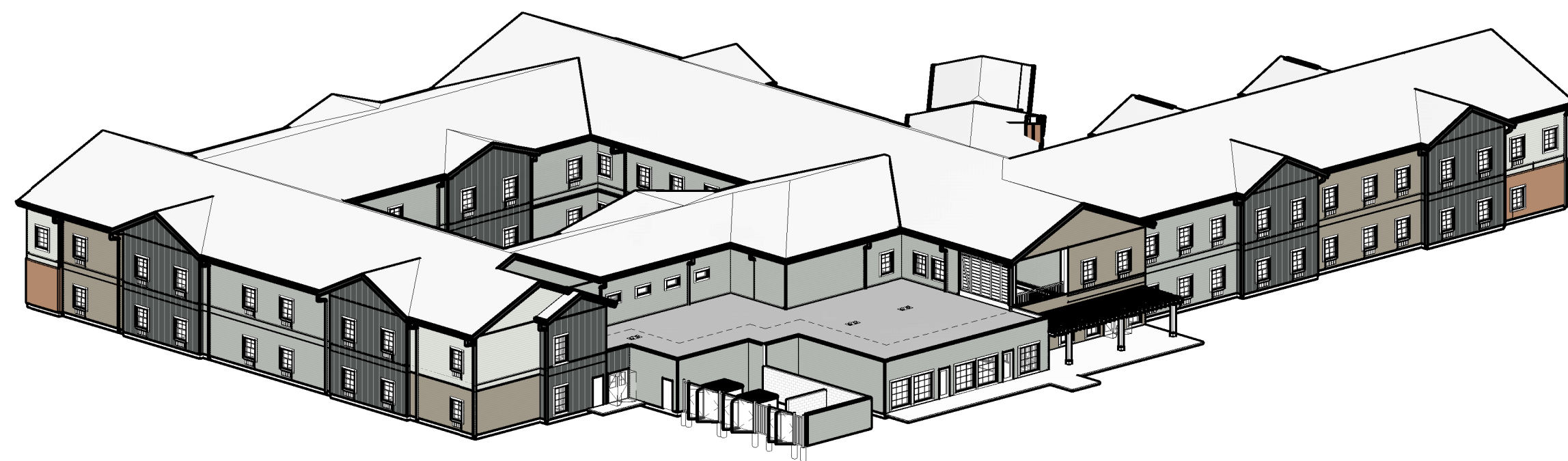
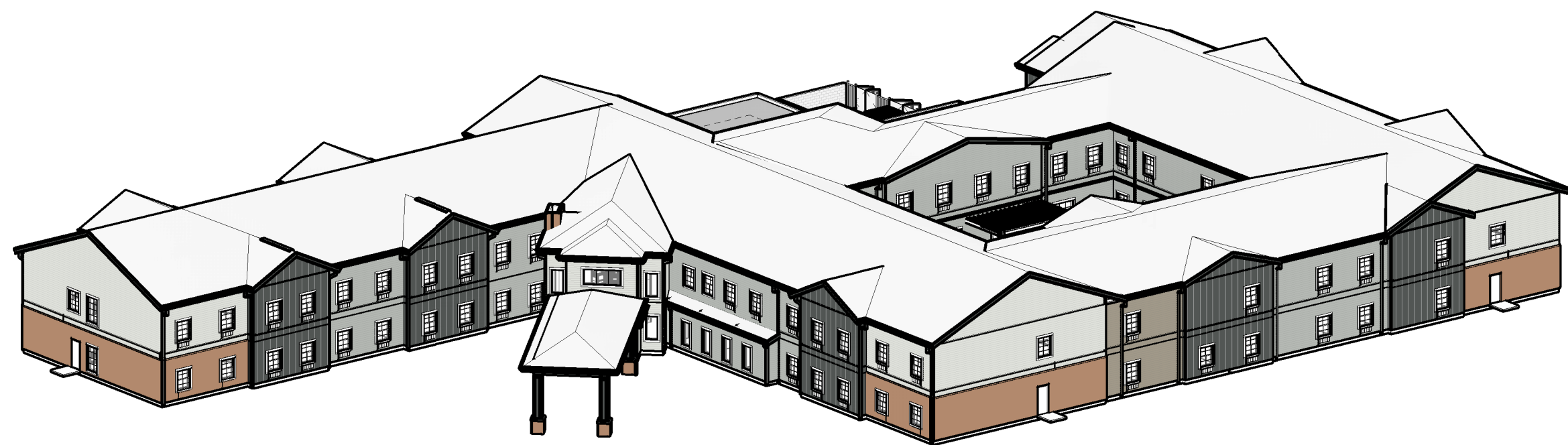


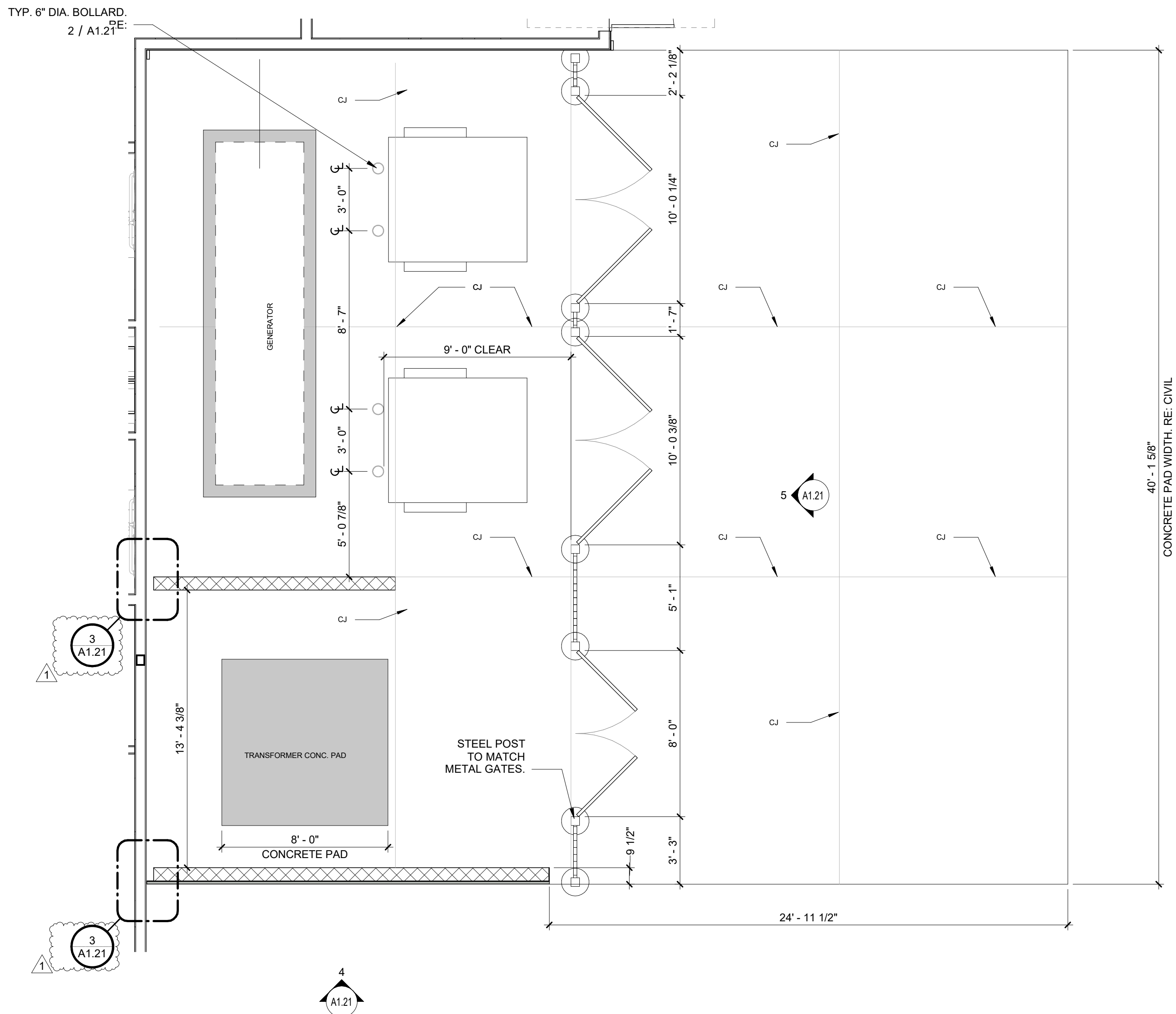
6 EXTERIOR ELEVATION - NORTH



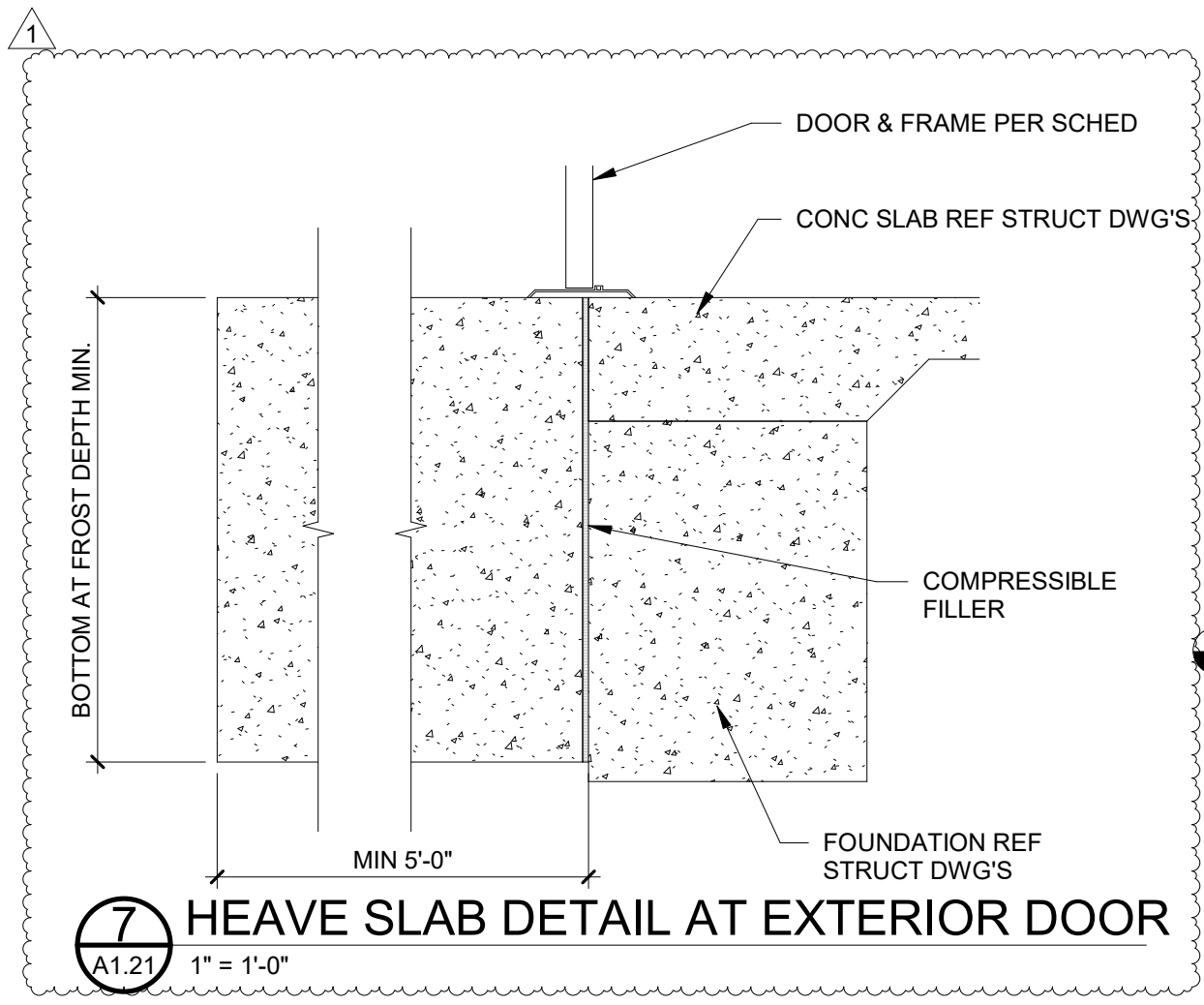
7 EXTERIOR ELEVATION - EAST

#	KEY NOTES
7.7	ARCHITECTURAL ASPHALT SHINGLES OVER ROOFING UNDERLAYMENT ON ROOF SHEATHING
X2	BOARD AND BATTEN 12" O.C. (DARK) - MANU: JAMES HARDIE / COLOR: IRON GRAY, TEXTURE: SMOOTH
X3	7" HORIZONTAL LAP FIBER CEMENT SIDING - MANU: JAMES HARDIE / COLOR: MONTEREY TAUPE, TEXTURE: CEDARMILL
X4	7" HORIZONTAL LAP FIBER CEMENT SIDING (LIGHT) - MANU: JAMES HARDIE / COLOR: LIGHT MIST, TEXTURE: CEDARMILL
X5	STONE VENEER - MANU: ESTONE WORKS / TYPE: CUTSTONE, CONESTOGA
X21	7" HORIZONTAL LAP FIBER CEMENT SIDING - MANU: JAMES HARDIE / COLOR: ARCTIC WHITE, TEXTURE: CEDARMILL

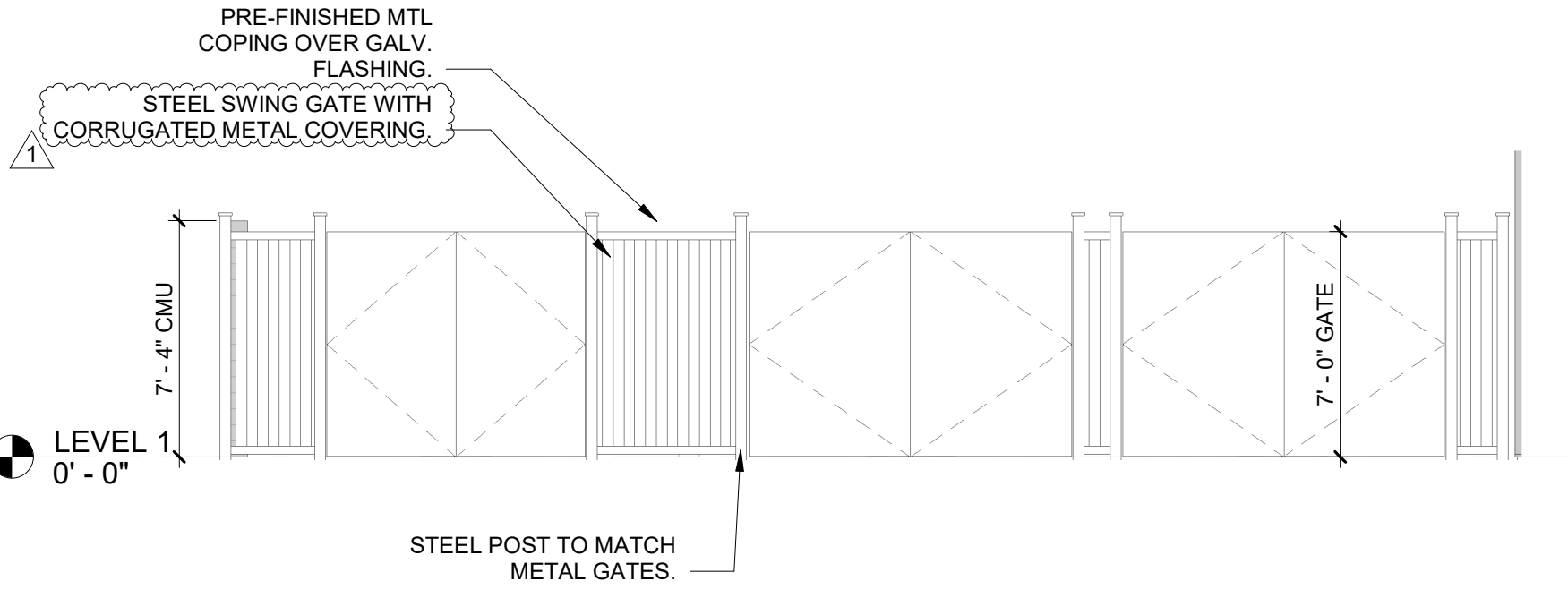




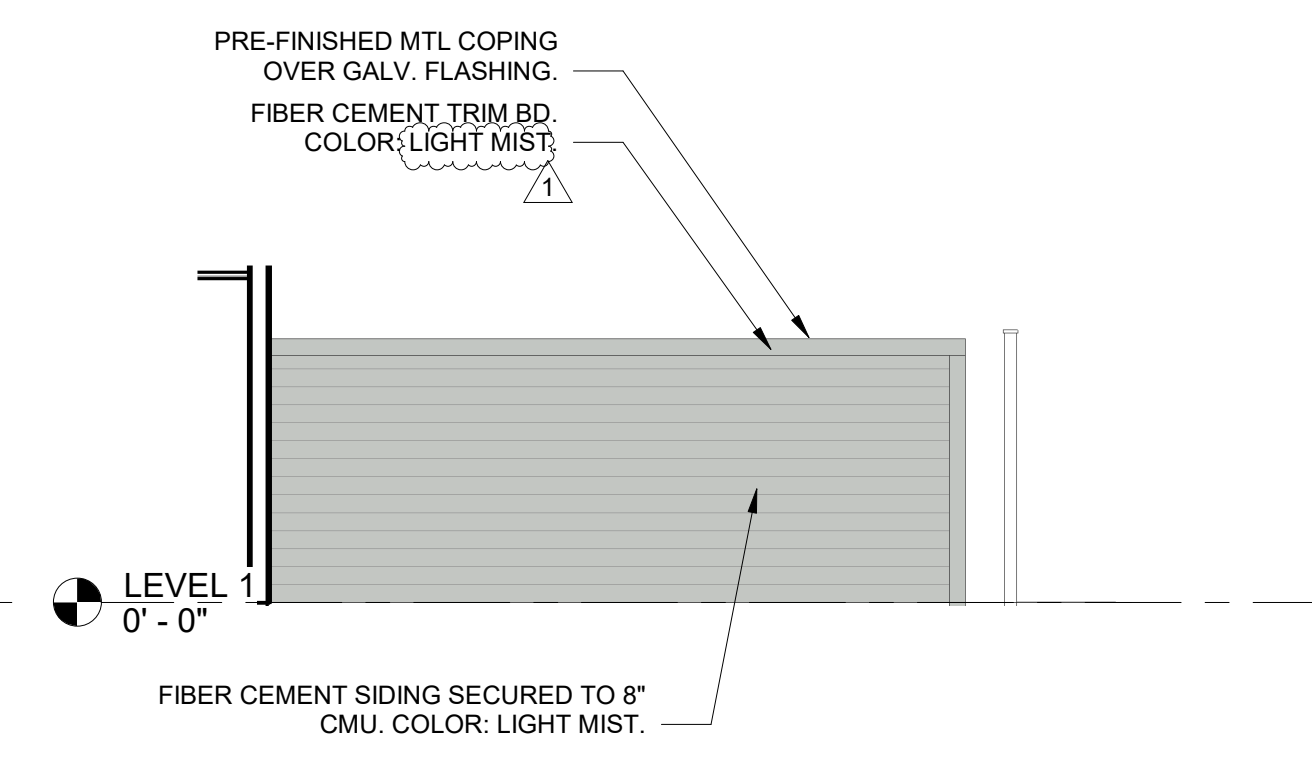
6 ENLARGED PLAN @ SITE ENCLOSURE
1/4" = 1'-0"



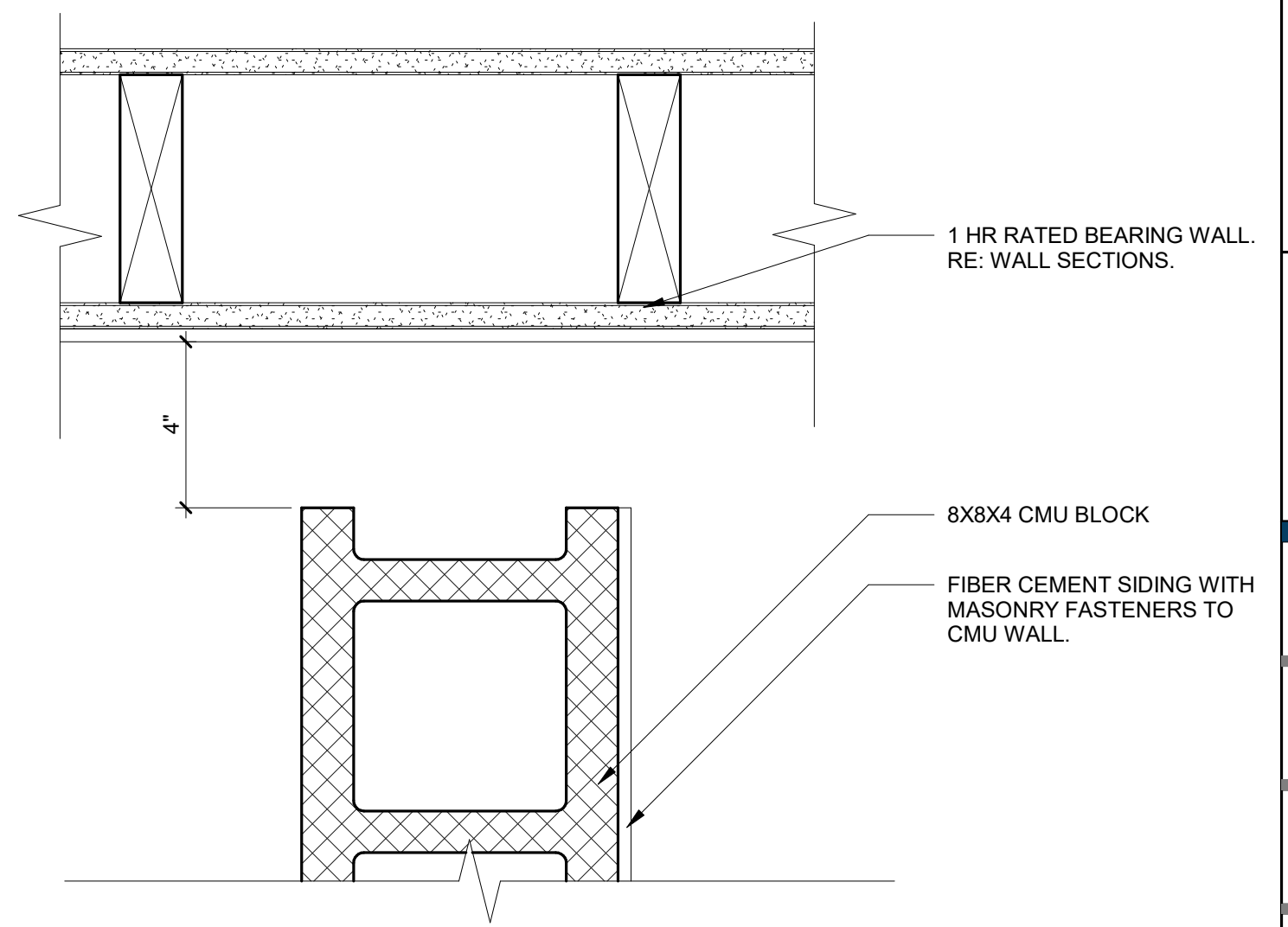
7 HEAVE SLAB DETAIL AT EXTERIOR DOOR
1" = 1'-0"



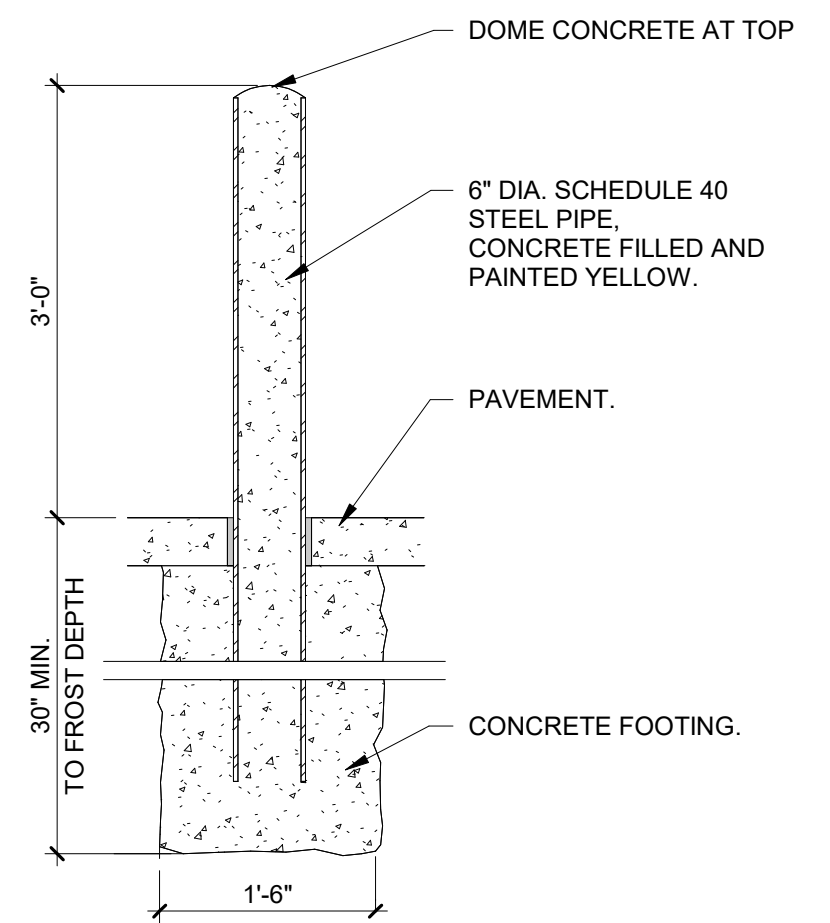
5 EXT. ELEV. @ FRONT OF SITE ENCLOSURE
3/16" = 1'-0"



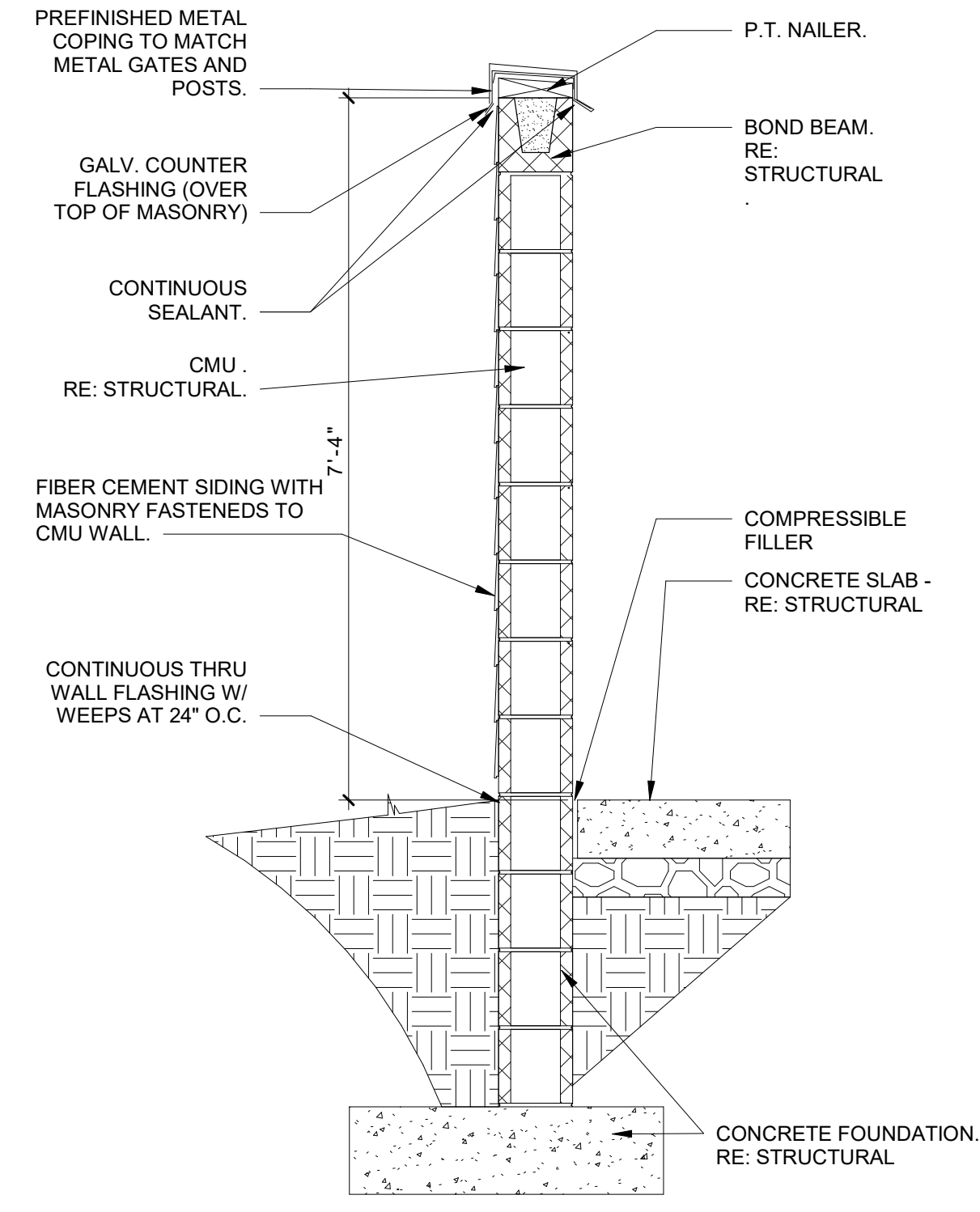
4 EXT. ELEV. @ SITE ENCLOSURE SIDE
3/16" = 1'-0"



3 PLAN DETAIL @ CMU AND WOOD STUD WALL
3" = 1'-0"



2 TYP. BOLLARD DETAIL
3/4" = 1'-0"



1 TYP. TRASH ENCLOSURE WALL SECTION
3/4" = 1'-0"

GMA
ARCHITECTS
900 N. Rock Hill Rd.
St. Louis, MO 63119
P: 314.822.5191
www.gma-architects.com

ARCO
SENIOR LIVING | MULTI-FAMILY
CONSTRUCTION COMPANY
9544 Manchester Road
St. Louis, MO 63119
P: 314.963.0715
F: 314.963.7114
www.arcoconstruction.com

CIVIL
CHOICE ONE ENGINEERING
201 WEST LOVELAND AVENUE
LOUISIANA, MO 63114
(P) 314.238.8554

STRUCTURAL
RPF CONSULTING ENGINEERING
1800 DES PERES RD. SUITE 100
ST. LOUIS, MISSOURI 63111
(P) 314.835.0224

MECHANICAL
CIRCINNATIC AIR CONDITIONING
2800 NORTHWEST DRIVE
CINCINNATI, OHIO 45221
(P) 513.721.5822

ELECTRICAL
KORRS LONGEMANN HEIL ENGINEERS
1538 ALEXANDRIA PIKE SUITE 111
FORT THOMAS, KENTUCKY 40152
(P) 859.429.0200

PLUMBING
APPLIED MECHANICAL SYSTEMS
5908 WOLF CREEK PIKE
DAYTON, OHIO 45424
(P) 937.854.3073

FIRE PROTECTION
PROTEGS FIRE & SAFETY
CINCINNATI, OHIO 45215
(P) 513.945.1030

PROVISION LIVING VANDALIA
Senior Living Communities

PROJECT
PROVISION LIVING VANDALIA
3900 PARK CENTER DRIVE,
VANDALIA, OHIO 45414

STATE OF OHIO
LOUIS WAYNE VANDERDECHT
REGISTERED ARCHITECT
10.17.2022
EXP. 12.31.2023

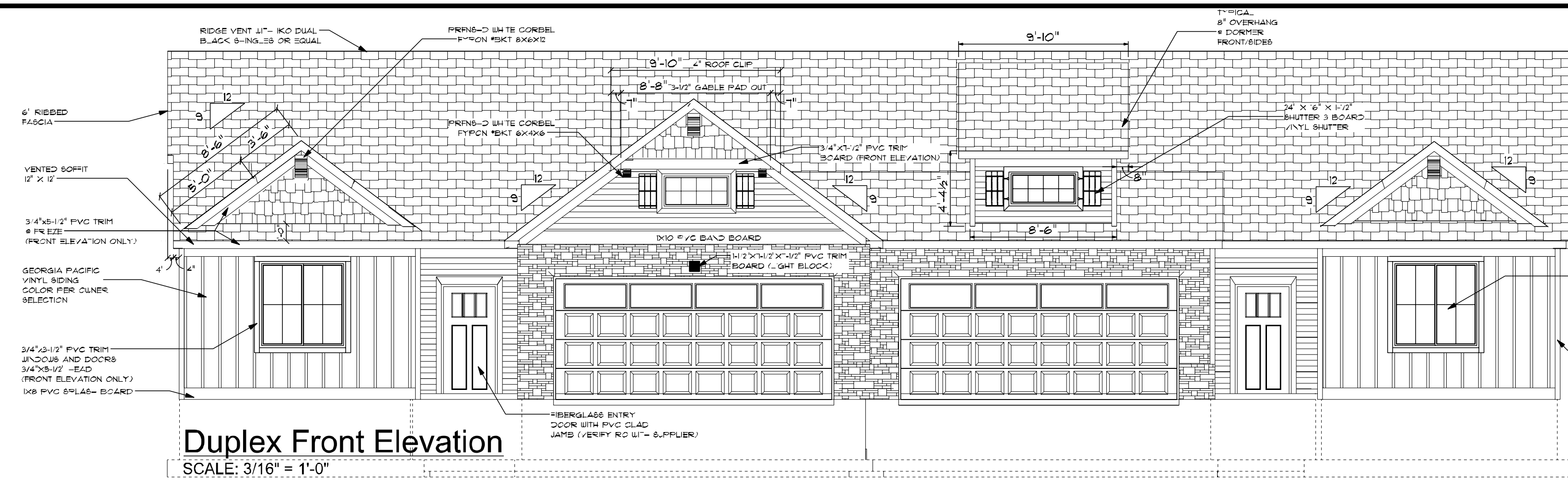
JOB NO: GA1055
PA: TMAC
ISSUE DATE: 08.08.2022

REVISIONS:
DESCRIPTION DATE
1 CITY COMMENTS 10.17.2022

THESE DRAWINGS AND THESE DRAWINGS ARE THE PROPERTY OF GMA ARCHITECTS, INC. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN PERMISSION FROM GMA ARCHITECTS, INC.

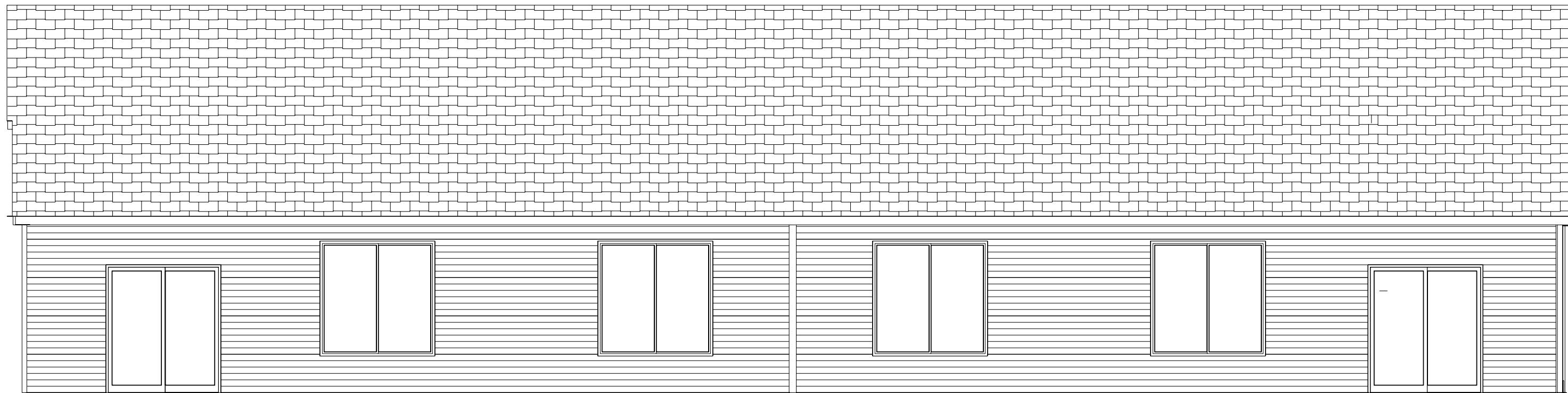
SHEET NUMBER
A1.21
SITE PLAN DETAILS

REVISION 1_10.17.2022



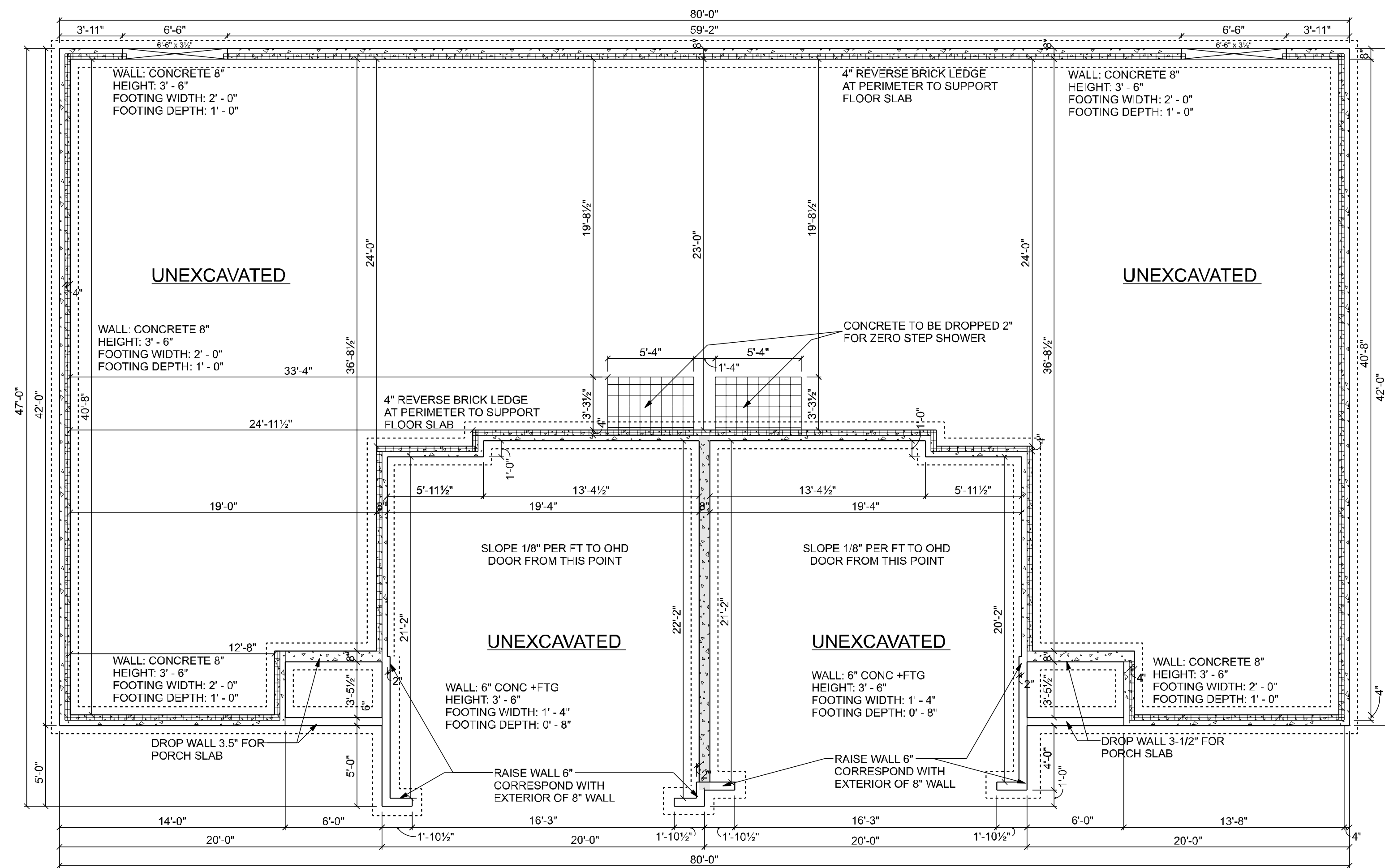
Duplex Front Elevation

SCALE: 3/16" = 1'-0"



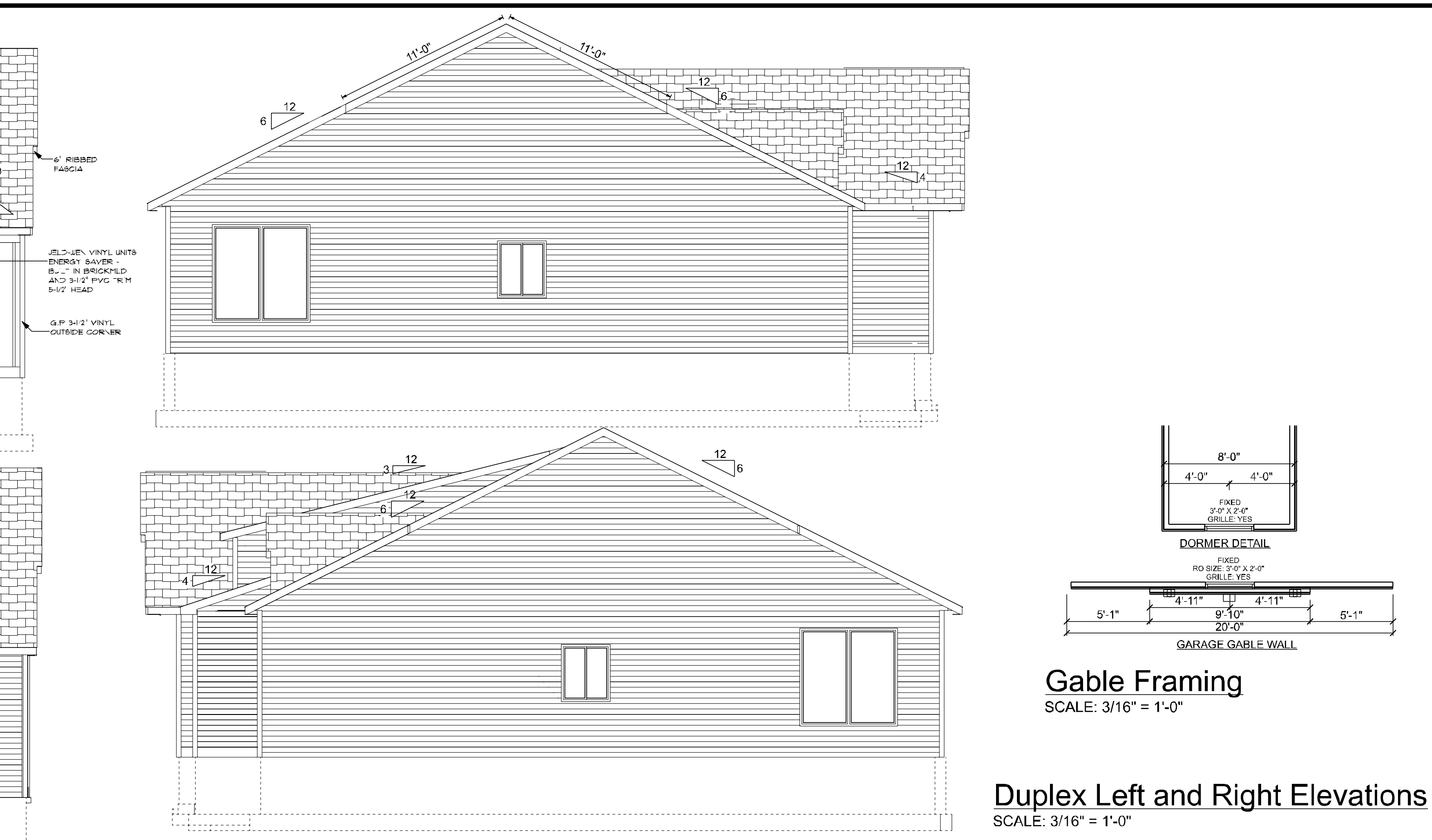
Duplex Rear Elevation

SCALE: 3/16" = 1'-0"



Duplex Foundation Plan

SCALE: 3/16" = 1'-0"

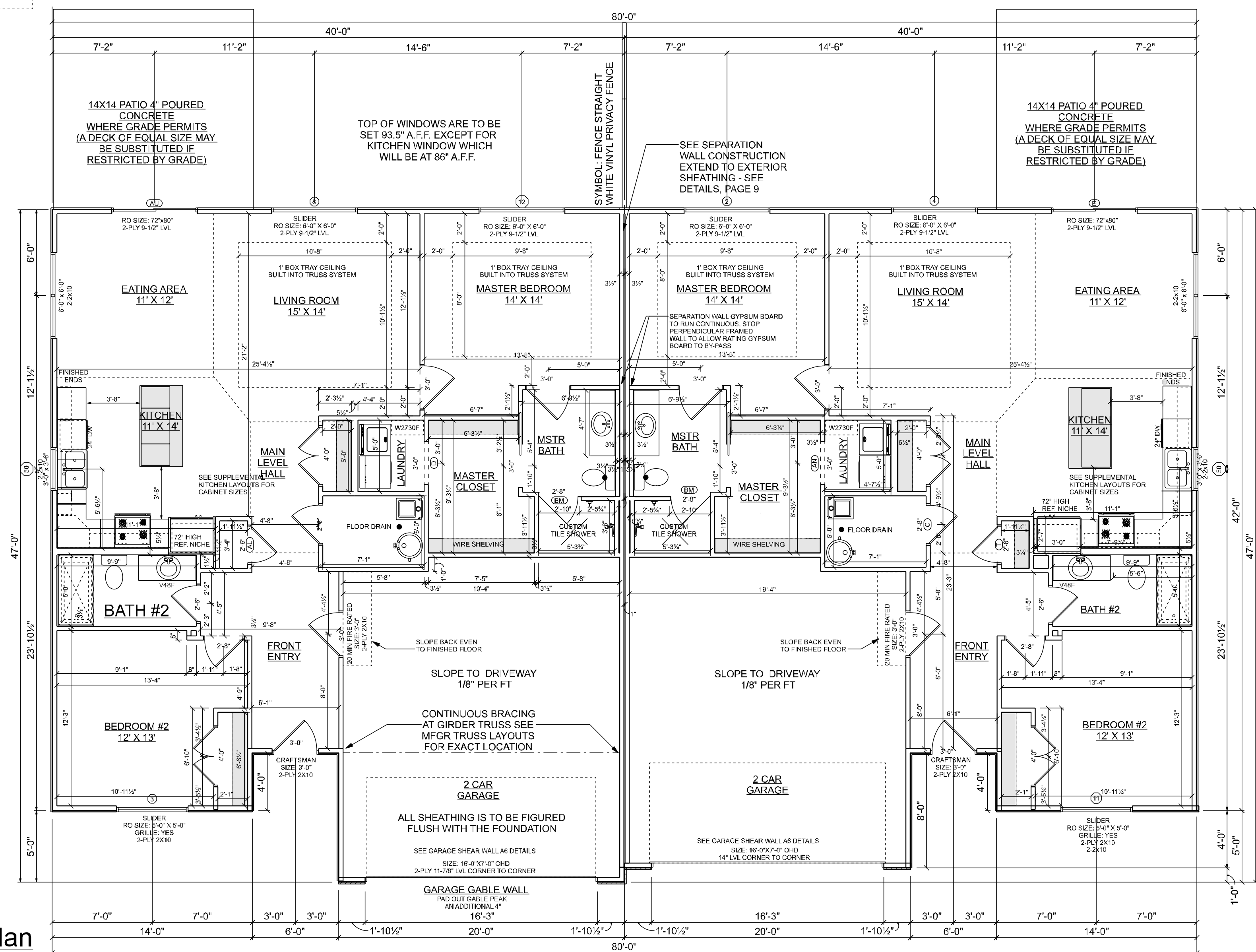


Gable Framing

SCALE: 3/16" = 1'-0"

Duplex Left and Right Elevations

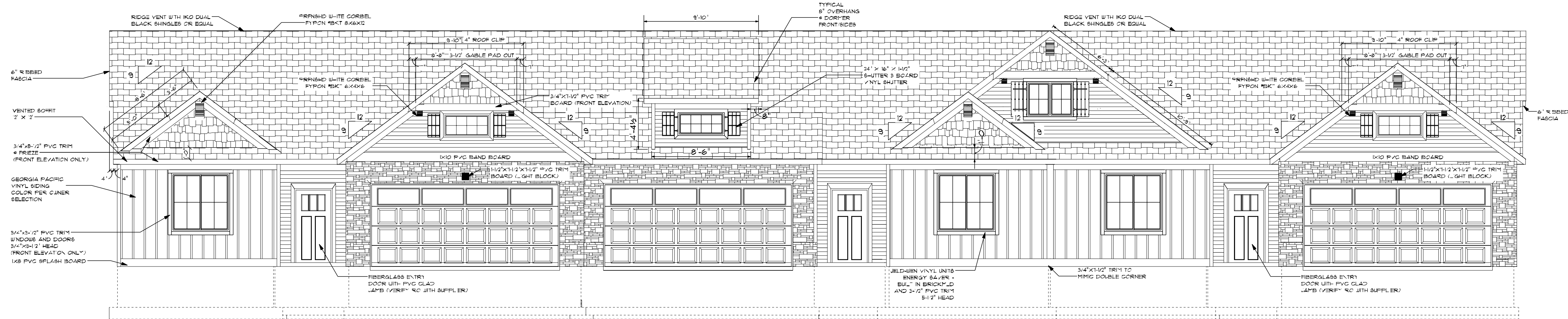
SCALE: 3/16" = 1'-0"



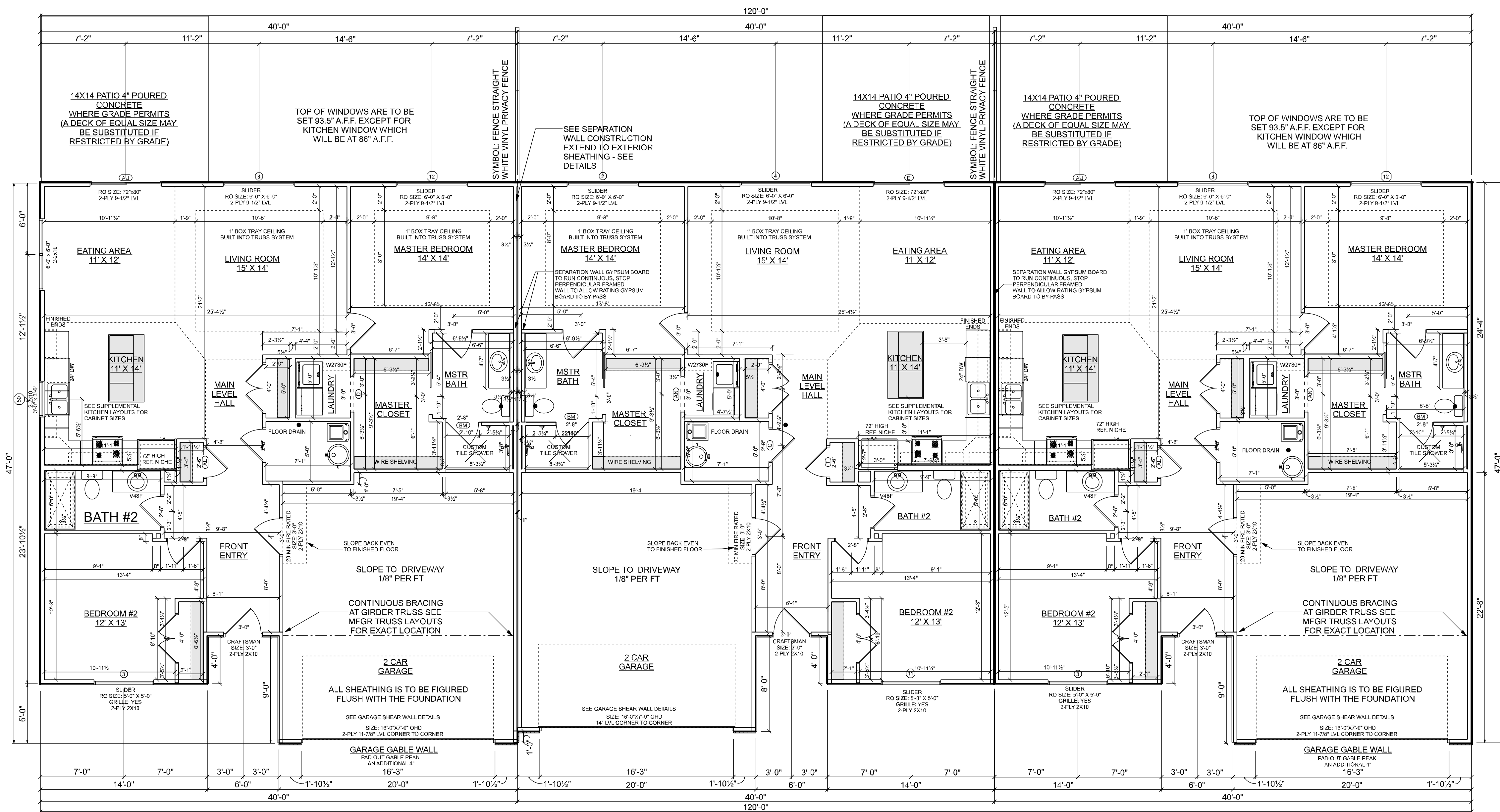
Duplex Main Floor Plan

SCALE: 3/16" = 1'-0"

Meridian Concepts LLC has made every attempt in the preparation of these drawings to be as accurate as possible, however we cannot accept liability against human error and faulty construction practices. The contractor and subcontractors are responsible for all dimensions and other details in the construction of this project. The contractor must conform to all local and state codes. All footings shown must rest on undisturbed stable soil. All dimensions are figured as rough. Example 2x4 being 1-1/2"x3-1/2". All dimensions rule over scale of this drawing.



3-Plex Front Elevation
SCALE: 3/16" = 1'-0"



3-Plex Main Floor Plan
SCALE: 3/16" = 1'-0"

Meridian Concepts LLC has made every attempt in the preparation of these drawings to be as accurate as possible, however we cannot accept liability against human error and faulty construction practices. The contractor and subcontractors are responsible for all dimensions and other details in the construction of this project. The contractor must conform to all local and state codes.

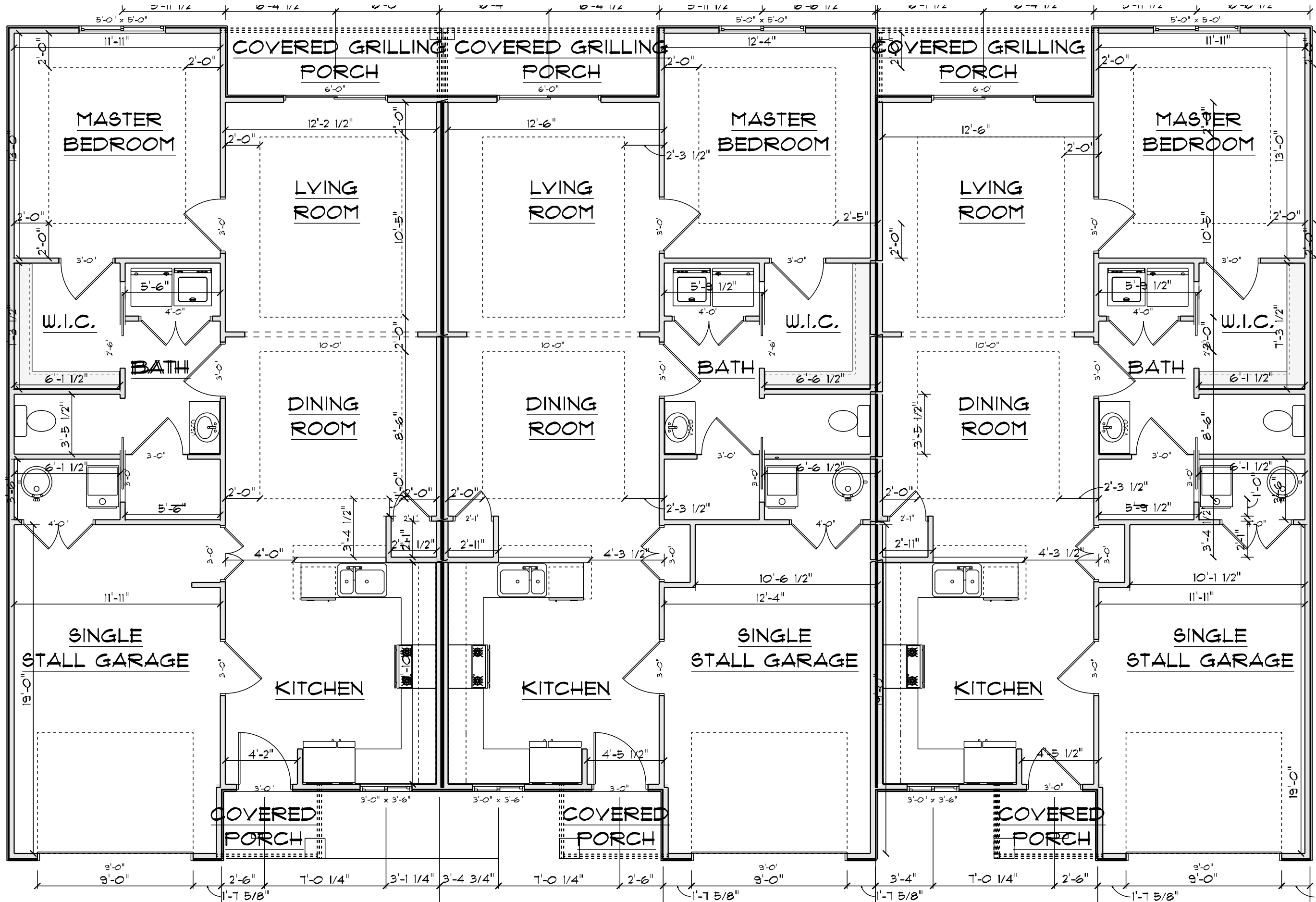
All footings shown must rest on undisturbed stable soil.

All dimensions are figured as rough. Example 2x4 being 1-1/2"x3-1/2".

All dimensions rule over scale of this drawing.



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



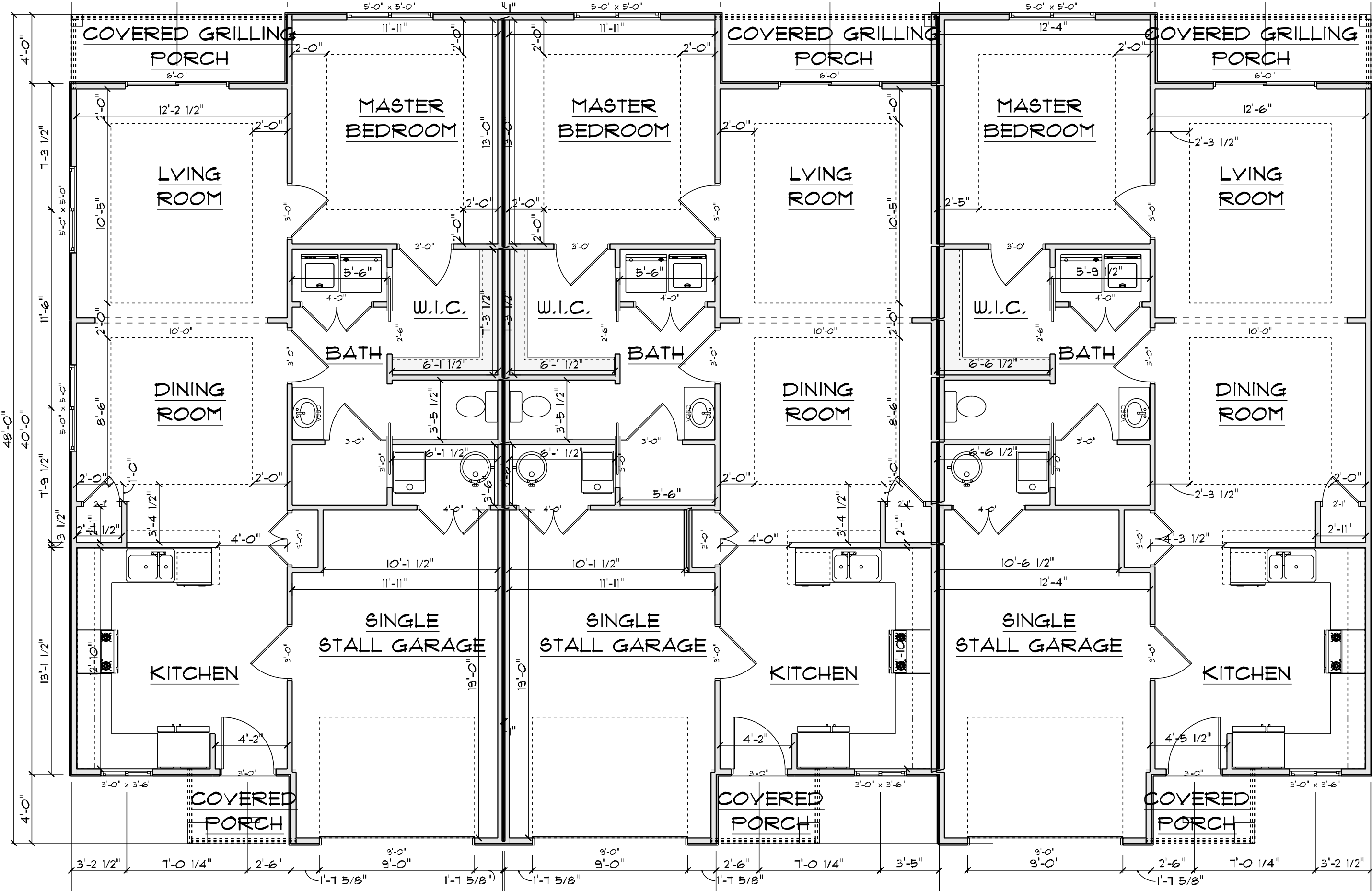
SINGLE BED TRIPLEX
SCALE: 3/16" = 1'-0"

USE THIS OPTION WITH FOUNDATION
GRADE STEPS

Meridian Concepts LLC has made every attempt in the preparation of these drawings to be as accurate as possible, however we cannot accept liability against human error and faulty construction practices. The contractor and subcontractors are responsible for all dimensions and other details in the construction of this project. The contractor must conform to all local and state codes.
All footings shown must rest on undisturbed stable soil.
All dimensions are figured as rough. Example 2x4 being 1-1/2"x3-1/2".
All dimensions rule over scale of this drawing.



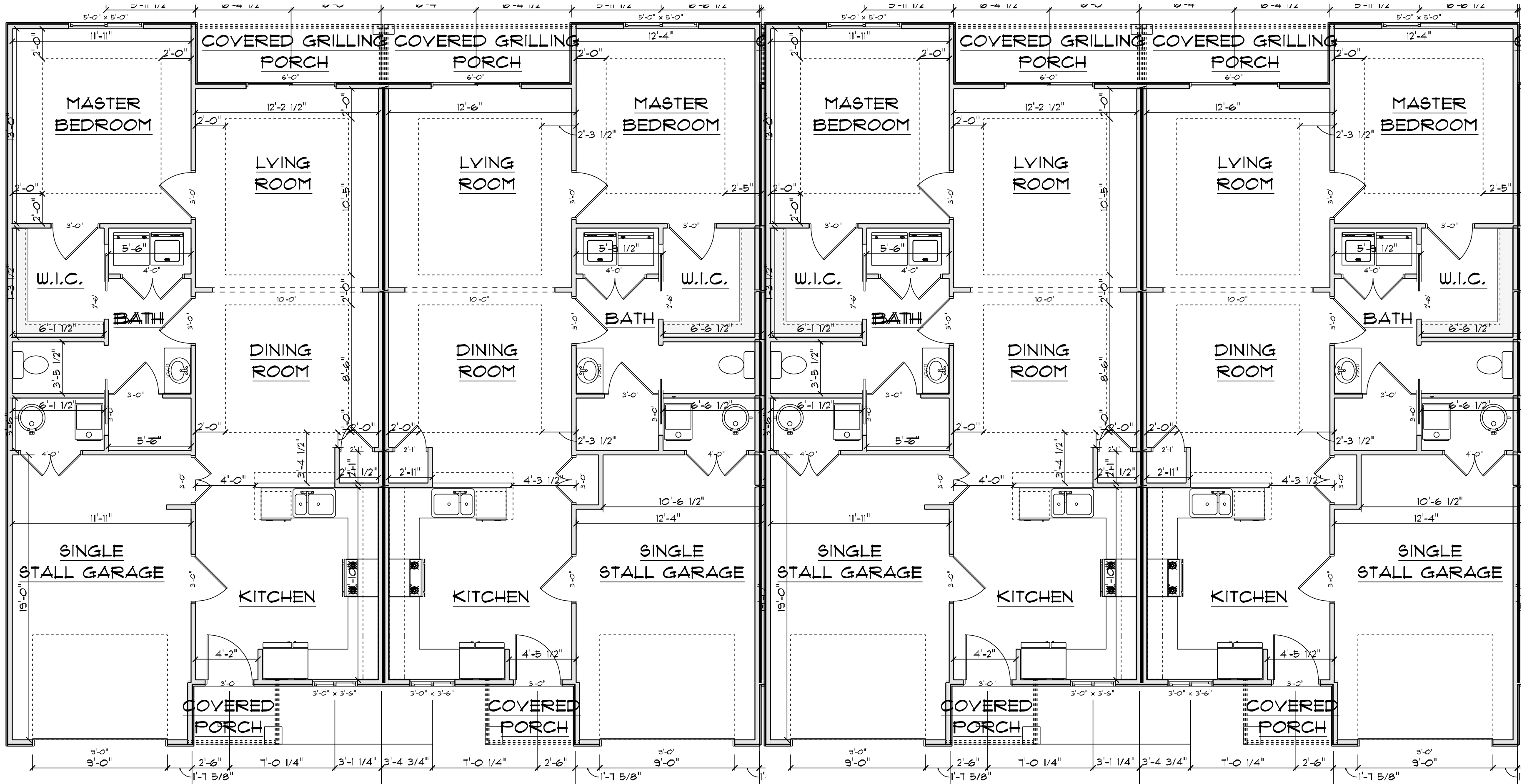
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



SINGLE BED TRIPLEX OPTION 2
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



SINGLE BED QUADPLEX
SCALE: 3/16" = 1'-0"

Meridian Concepts LLC has made every attempt in the preparation of these drawings to be as accurate as possible, however we cannot accept liability against human error and faulty construction practices. The contractor and subcontractors are responsible for all dimensions and other details in the construction of this project. The contractor must conform to all local and state codes.

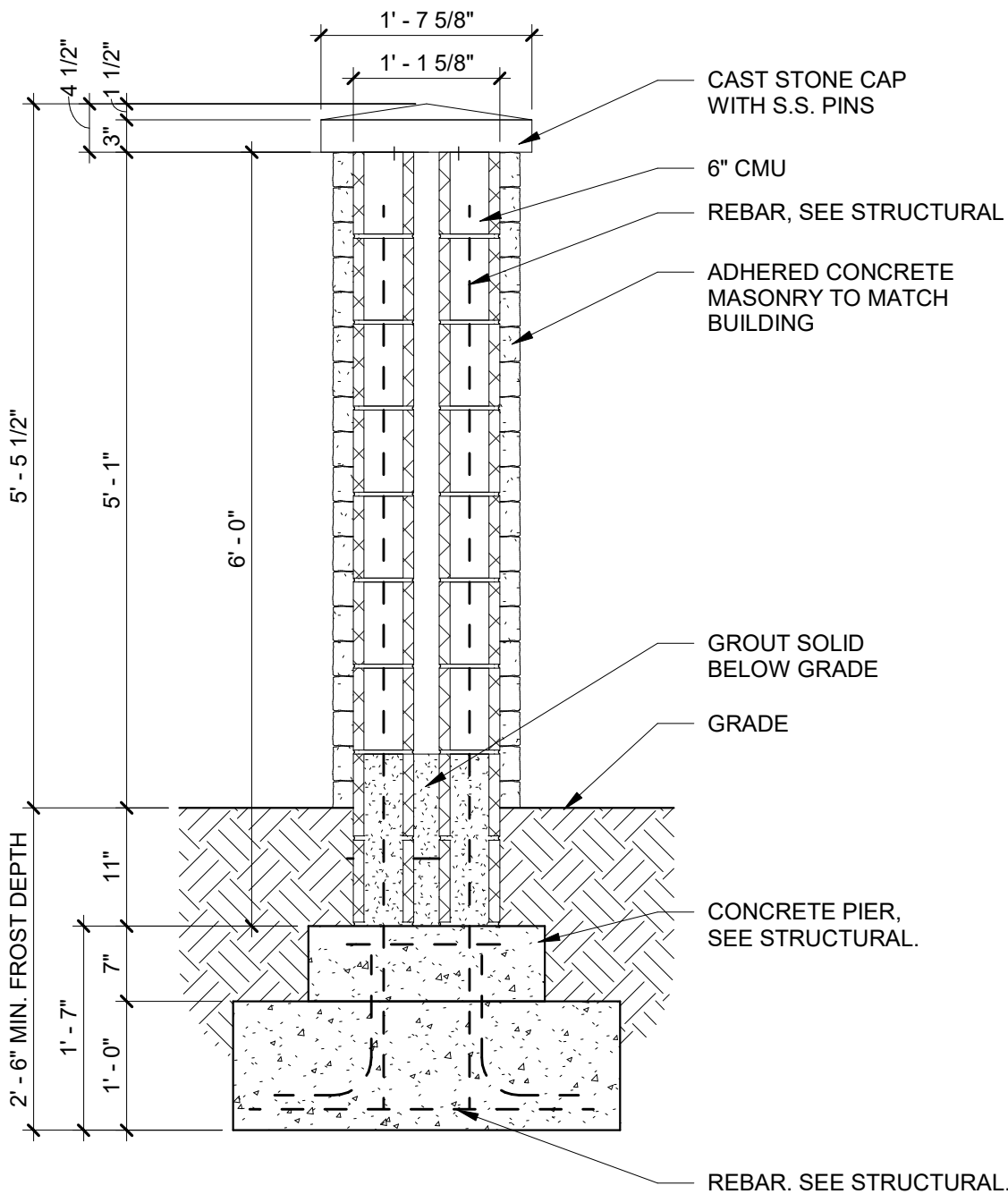
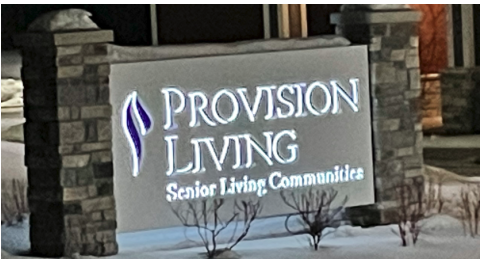
All footings shown must rest on undisturbed stable soil.

All dimensions are figured as rough. Example 2x4 being 1-1/2"x3-1/2".

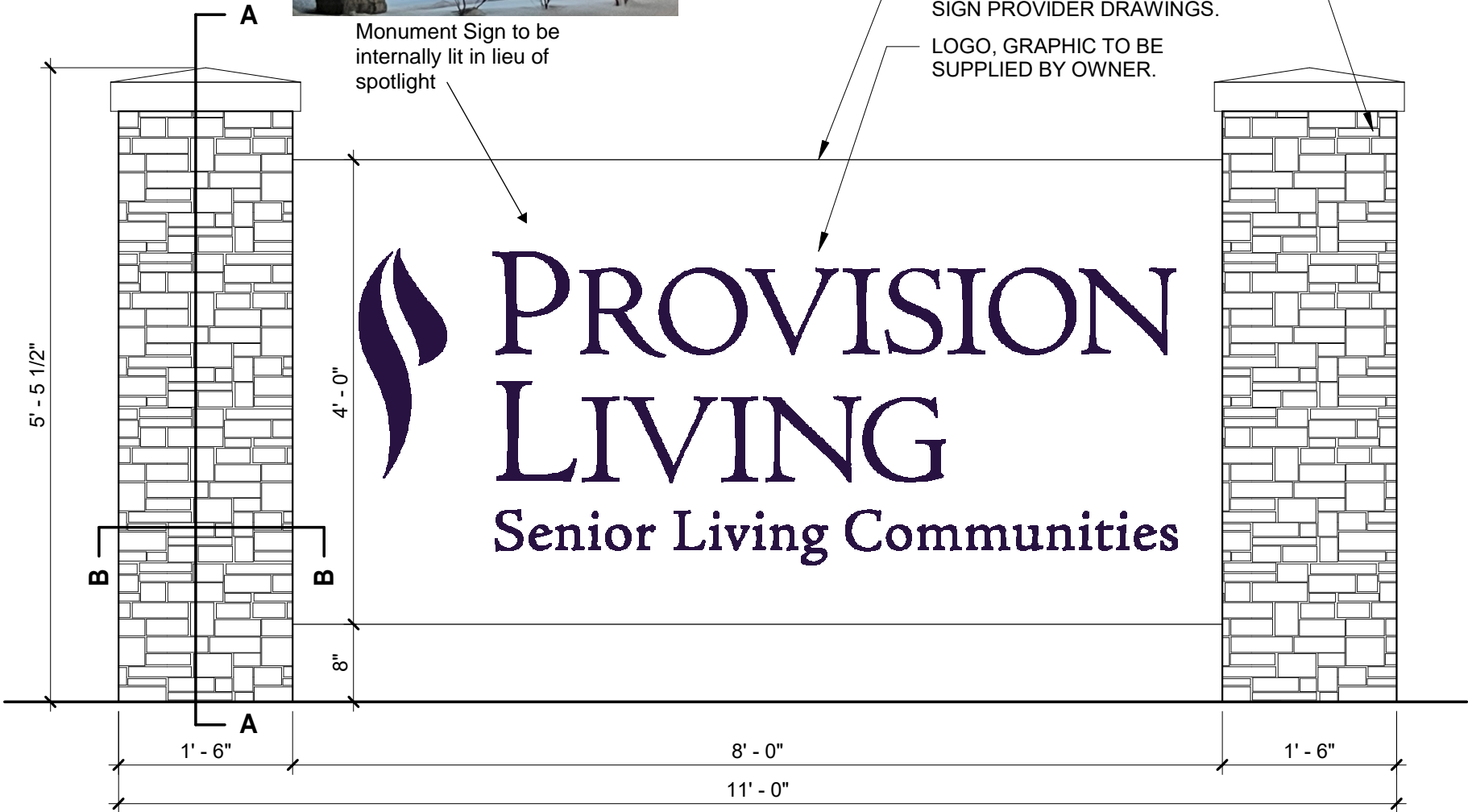
All dimensions rule over scale of this drawing.

PROVISION LIVING PATASKALA | PATASKALA, OHIO

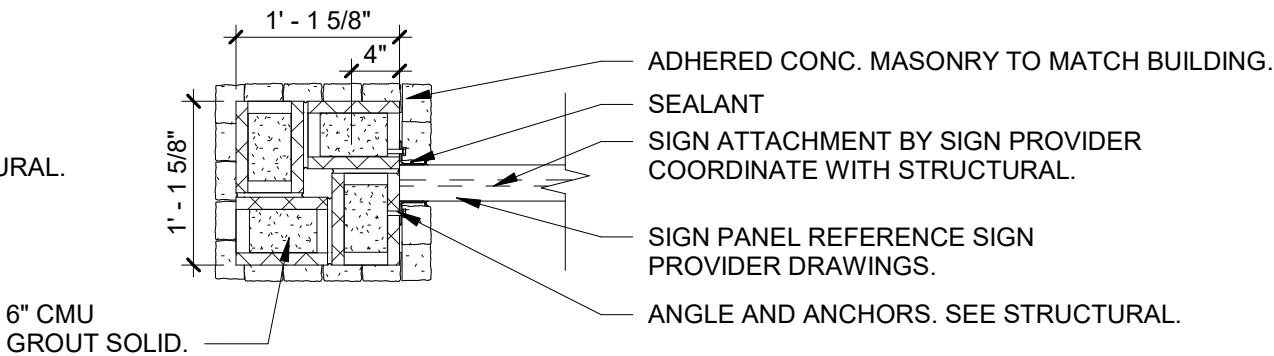
PROJECT NUMBER : GAP1042 DATE : 10.31.2022



SECTION A-A



ELEVATION - DOUBLE SIDED SIGN



PLAN DETAIL B-B

A0

MONUMENT SIGN
SCALE: 3/4" = 1'-0"



Know All By These Presents

That J. Gilbert Reese and Louella H. Reese, Husband and Wife, and John D. Lewis and Phoebe R. Lewis, Husband and Wife, for valuable consideration paid, do Remise, Release and Forever Quit-Claim to P & G Pataskala, Ltd., an Ohio Limited Liability Company the following real property:

Situated in the State of Ohio, County of Licking and Township of Lima:

Being part of the 4th Quarter of the 1st Township, 15th Range, U.S. Military Lands, being part of the William Hollar and Eva L. Hollar tracts as described in two deeds of record in Deed Book 456, pages 505 and 507, in the Licking County Recorder's Office, and being more particularly described as follows:

Beginning at a point in the southeasterly corner of the said William Hollar and Eva L. Hollar tract of land, the southwesterly corner of the Nellie S. Gilchrist tract of land as described in Deed Book 478, page 566, Licking County Recorder's Office, said point being also in the centerline of State Route 16; thence S. 78 degrees 09' W. and with the said centerline of State Route 16, the southerly line of the said Hollar tract, a distance of 299.47 feet to a point (PK nail); thence N. 11 degrees 51' W. leaving the centerline of said State Route 16, a distance of 208.71 feet to an iron pin; thence S. 78 degrees 09' W. a distance of 208.71 feet to an iron pin; thence S. 11 degrees 51' E. a distance of 208.71 feet to a spike in the centerline of said State Route 16, the southerly line of the said Hollar tract; thence S. 78 degrees 09' W. with the centerline of said State Route 16, the southerly line of the said Hollar tract, a distance of 2592.10 feet to an angle point in the centerline of said State Route 16; thence S. 78 degrees 04'30" W. continuing with the centerline of said State Route 16, the southerly line of the said Hollar tract of land, a distance of 215.67 feet to a point (PK nail) in the southwesterly corner of said William Hollar and Eva L. Hollar tract of land; thence N. 4 degrees 04'30" E. with the westerly line of the said Hollar tract, a distance of 3347.82 feet to an iron pin in the northwesterly corner of said Hollar tract; thence S. 86 degrees 24'15" E. with the northerly line of the said Hollar tract of land, a distance of 2180.05 feet to an iron pin in the northeasterly corner of said Hollar tract, the northwesterly corner of said Nellie S. Gilchrist tract of land, passing an iron pin at 907.49 feet on the northerly line of said Hollar tract; thence S. 18 degrees 55'45" E. with the easterly line of the said Hollar tract, the westerly line of said Gilchrist tract, a distance of 1309.89 feet to an iron pin in an angle point in the said easterly line of the Hollar tract; thence S. 17 degrees 35'45" E. continuing with the easterly line of said Hollar tract, a distance of 1345.00 feet to the place of beginning and containing 183.658 acres of land, more or less.

EXCEPTING THEREFROM the following described real estate:

Situated in the State of Ohio, County of Licking and Village of Pataskala:

Beginning at a point in the centerline of State Route No. 16, said point being South 78 degrees 09'00" West 198.87 feet from the southwest corner of the James M. Kennedy property, (Deed References: Deed Book 665, Page 501 and Deed Book 810, Page 481 of the Licking County Deed Records); thence, continuing along the said centerline of State Route No. 16, South 78 degrees 09'00" W., 150.00 feet to a point; thence, leaving the said centerline of State Route No. 16, North 11 degrees 51'00" West, passing an iron pin set in the northerly right-of-way line of State Route No. 16 at 41.51 feet, a total distance of 215.19 feet to an iron pin set; thence, North 78 degrees 09'00" East, 150.00 feet to an iron pin set; thence, South 11 degrees 51'00" East, passing an iron pin set in the northerly right-of-way line of State Route No. 16 at a distance of 170.00 feet, a total distance of 215.19 feet to the point of beginning. Containing 0.74 acres of land, more or less, of which the present road occupies 0.15 of an acre.

Being the same premises conveyed to Grantor(s) by documents recorded in Deed Volume 769 at page 765 and Official Record Volume 140 at page 383, Licking County Recorder's Office.

IN WITNESS WHEREOF, the grantor who releases all right and expectancy of dower in said premises has executed this instrument this 13th day of December, in the year Nineteen Hundred and Ninety-five.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:

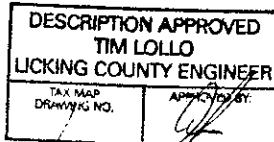
Joyce H. McCreary
witness signature (As to 1 and 2)
JOYCE H. MCCREARY
print witness name

J. Gilbert Reese
1. J. Gilbert Reese

Margaret A. Hallam
witness signature (As to 1 and 2)
Margaret A. Hallam
print witness name

Louella H. Reese
2. Louella H. Reese

SEC. 319.202 COMPLIED WITH
GEORGE D. BUCHANAN, AUDITOR
BY km km



TRANSFERRED

THIS INSTRUMENT PREPARED BY

Date January 2 19 96

LAW OFFICES

George D. Buchanan REESE, PYLE, DRAKE & MEYER
Licking County Auditor

36 NORTH SECOND STREET — P.O. Box 919
NEWARK, OHIO 43058-0919

Judith K. Hesloff
witness signature (As to 3 and 4)
Judith K. Hesloff
print witness name
Nicole Gardner
witness signature (As to 3 and 4)
NICOLE GARDNER
print witness name

John D. Lewis 645
3. John D. Lewis
Phoebe R. Lewis
4. Phoebe R. Lewis

STATE OF OHIO, COUNTY OF LICKING: SS:

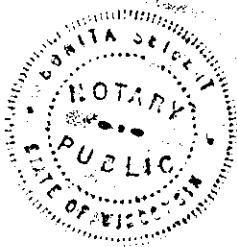
The foregoing instrument was acknowledged before me this 13th day of December, 1995, by
John D. Lewis and Louella H. Reese.



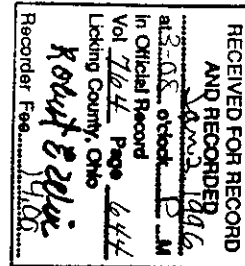
Joyce H. McCreary
Notary Public
JOYCE H. McCREARY
Notary Public, State of Ohio
My Commission Exp. 9-27-97

STATE OF Wisconsin, COUNTY OF Milwaukee: SS:

The foregoing instrument was acknowledged before me this 15 day of December, 1995, by
John D. Lewis and Phoebe R. Lewis.

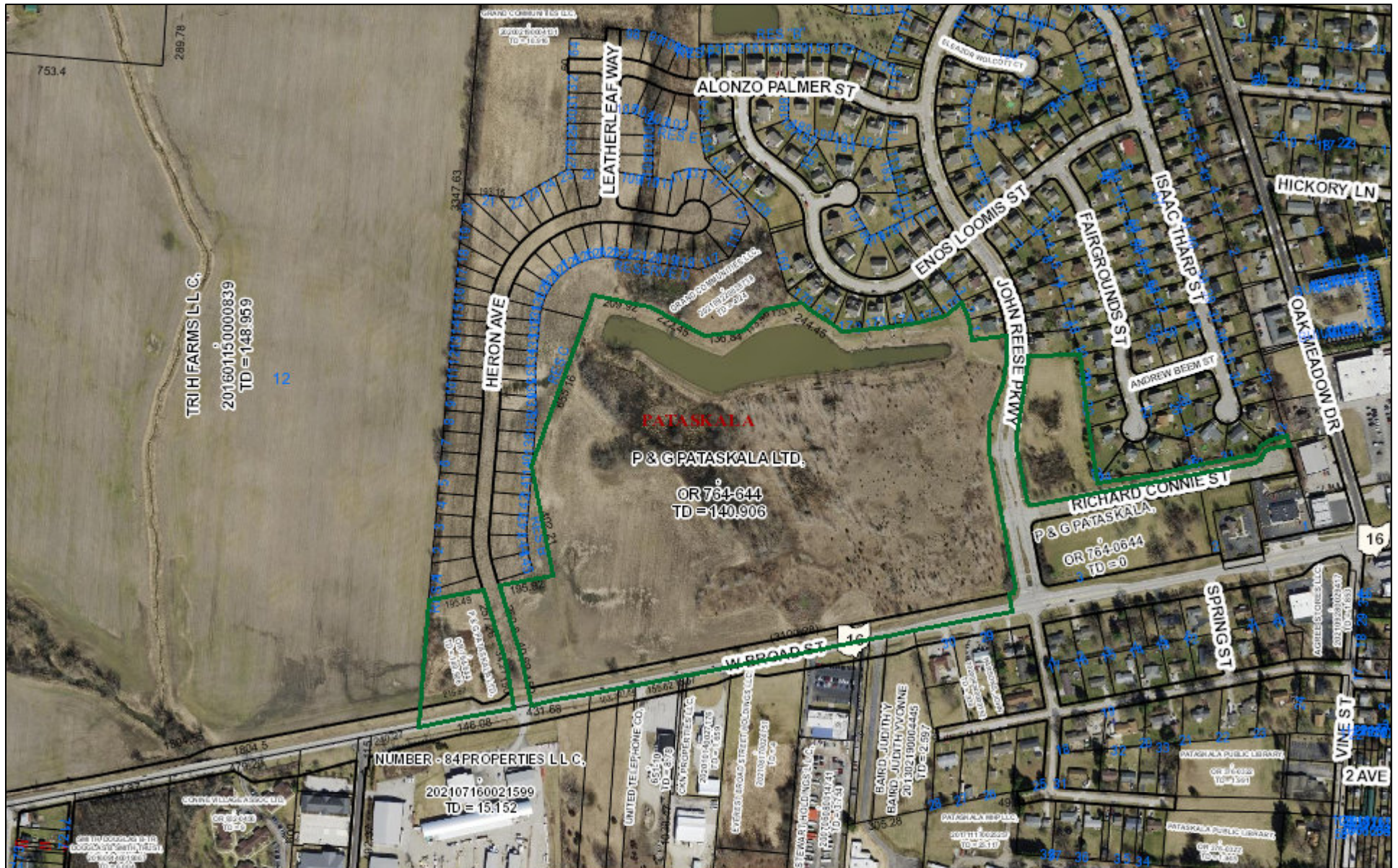


Bonita Seibert
Notary Public

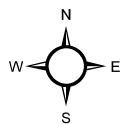


53373

PVL PATASKALA AREA MAP



September 13, 2022



0 500 Feet
0.09 Miles

LICKING COUNTY TAX MAP