



## CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

### STAFF REPORT

January 3, 2023

#### Final Plan Application FP-23-003

<b>Applicants:</b>	M/I Homes
<b>Owner:</b>	M/I Homes of Central Ohio, LLC.
<b>Location:</b>	5081 Hazelton-Etna Road SW
<b>Acreage:</b>	+/- 8.23-acres out of 128.12-acres total.
<b>Zoning:</b>	R-15 – Medium-High Density Residential
<b>Request:</b>	Requesting approval of a Final Plan pursuant to Section 1113.40 of the Pataskala Code for Section 2 of the Forest Ridge Subdivision. Section 2 will contain 30 single-family lots, the construction of one (1) street, and the extension of two (2) existing streets.

#### Description of the Request:

The applicant is seeking approval of the Final Development Plan for Section 2 of the Forest Ridge Subdivision, consisting of 30 single-family lots, pursuant to Section 1113.28 of the Pataskala Code.

#### Staff Summary:

The Amended Preliminary Plan for Forest Ridge was approved by the Planning and Zoning Commission on September 7, 2022, which included a total of 254 single-family lots spread across potentially seven (7) phases of development and a total site area of 128.1-acres for a gross density of 1.98 units per acre. A total of three (3) Variances were also approved by the Board of Zoning Appeals in relation to the Preliminary Plan, those being:

Variance VA-23-004 from Section 1117.10 of the Pataskala Code to allow for four (4) intersections within the development to deviate from the angle of intersection requirements.

Variance VA-23-005 from Section 1117.10 of the Pataskala Code to allow for reduced intersection separation between the intersections of the proposed Fannin Drive (now Pioneer Way) and Ruby Road, and Waterlily Way and Ruby Road.

Variance VA-23-006 from Section 1117.07 of the Pataskala Code to allow for three (3) sections of road to have less than the minimum of 100-feet spacing between reverse curves.

A fourth Variance, VA-21-005, was approved on February 9, 2021, to allow for the developer to submit the Preliminary Plan without a Tree Survey and Replacement Plan, instead delaying it until the Construction Plans submission, per phase of Development. However, pursuant to F.P. Development, LLC. v. Charter Township of Canton, Michigan (Case No. 20-1447/1466), the City's current tree replacement code is unenforceable. As such, the need for this Variance was nullified, and the Applicant is not required to provide any on-site replacements or fee-in-lieu for any trees removed in the course of development but may do so at their sole discretion.

In addition to the Variances approved by the Board of Zoning Appeals named above, the Applicant also received three (3) Variances, approved by City Council, from Chapter 1296 – Residential Appearance Standards. A summary of the approved Variances is below.

Variance from Section 1296.07 to allow for a reduction in the number of driveways that must be grouped. City Administrator or Designee shall approve deviations from this requirement if it is determined that the grouping of driveways is not possible or would negatively affect the functionality of the subdivision.

Variance from section 1296.14(B) to allow for a reduction in the minimum width of shutters to 15-inches.

Variance from Section 1296.15(A) to allow for a reduction in the minimum width of three-dimensional door surround to a minimum of five (5) inches.

The Construction Plans for Section 2 were approved on December 26, 2023. Section 2 will consist of 30 single-family lots on +/- 8.23-acres, with no reserve areas in the second phase. Per the Approved Preliminary Plan, setbacks are a minimum of 30-feet from the front, 5-feet minimum from the sides, and 30-feet minimum from the rear. Construction of Section 2 will include the lengthening of Ruby Road and Pioneer Way, as well as the creation of Reign Way.

Section	FDP Approval Date	# of Lots	Status
1	July 5, 2023	29	Under Construction
2	Pending	30	Pending
3	n/a	n/a	Future Development
4	n/a	n/a	Future Development
5	n/a	n/a	Future Development
6	n/a	n/a	Future Development
7	n/a	n/a	Future Development

- The name of “Fannin Drive” has been changed to “Pioneer Way”.

The Forest Ridge Preliminary Plan (PP-22-002) was approved with the following conditions:

1. The applicant shall address all comments of the Planning and Zoning Department, City Engineer, Pataskala Utilities, and the West Licking Joint Fire District.
2. After all comments and questions have been addressed the Applicant shall submit a revised Development Text and a mylar copy of the revised Preliminary Plan to the Planning and Zoning Department for signatures and records.

**Staff Review:** *The following summary does not constitute recommendations but merely conclusions and suggestions from staff.*

Planning and Zoning Staff:

All conditions placed upon the approval of Preliminary Plan PP-22-002, and the Construction Plans for Section 1 have been approved and signed.

Staff has reviewed the proposed Final Development Plan, and has the following comments:

- The adjacent subdivision of Scenic View Estates is erroneously identified as R-10, should be PDD.
- There is a 3-board fence being installed along the north property lines of lots 1-33, would recommend including maintenance provisions in the Declaration of Covenants for the Homeowner's Association if not already included.

Staff, including Planning and Zoning, Pataskala Utilities, Public Service Department, and the City Engineer have reviewed the proposed driveway layouts and have determined that those not meeting the grouping standards (12 out of 30), because they would either conflict with the location of street lights, stormwater devices, or would cause a driveway slope in excess of 10% (maximum per Code); are acceptable under the conditions of the Council Variance from Section 1296.07 of the Pataskala Code.

Public Service Department (Full comments attached)

Relief joints on sheet 4 do not match what is shown in the construction plans. The relief joint locations for Reign Way should be 0+50, 4+25, and 8+50.

Other Departments or Agencies

No other comments received.

**Surrounding Area:**

Direction	Zoning	Land Use
North	B-1 Business District (Harrison Twp.) AG – Agricultural (Harrison Twp.)	Single-Family Home
East	R-15 – Medium-High Density Residential	Future Development
South	R-10 – High Density Residential	Ravines at Hazelwood
West	AG – Agricultural (Harrison Twp.) R-15 – Medium-High Density Residential	Single-Family Homes Section 1

**Final Development Plan Approval:**

According to Section 1255.20 of the Pataskala Code, the Planning and Zoning Commission shall consider approval of a final development plan if the proposal:

- a. The Final Development Plan conforms in all pertinent respects to the approved Preliminary Development Plan, provided that the Planning and Zoning Commission may authorize plans amended as specified in Section 1255.14.
- b. That the proposed development advances the general health and safety of the City of Pataskala.
- c. That the Planning and Zoning Commission is satisfied that the developer has provided sufficient guarantees or demonstrates possession of the requisite financial resources to complete the project.
- d. That the interior road system, proposed parking, and any off-site improvements are suitable, safe, and adequate to carry anticipated vehicular and pedestrian traffic generated by and within the proposed development and to adjacent property.
- e. The development has adequate public services and open spaces.
- f. The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with any applicable regulations.
- g. The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity.
- h. Signs, as shown on the submitted sign plan, will be of a coordinated effect throughout the planned district, and with adjacent development; are of appropriate size, scale, design, and relationship with principal buildings the site and surroundings, so as to maintain safe and orderly pedestrian and vehicular circulation.
- i. The landscape plan adequately enhances the principal buildings and site; maintains existing trees to the extent possible; buffers adjacent incompatible uses; breaks up large expanses of pavement with natural materials; and utilizes appropriate plant selections of the buildings, site and climate.
- j. That the existing and proposed utilities, including water and sewer service, and drainage will be adequate for the population densities and nonresidential uses proposed in the Planned Development District and complies with applicable regulations established by the City or any other governmental entity which may have jurisdiction over such matters.
- k. Phases of projects are planned so that these conditions are complied with to meet the needs of that phase upon its completion.
- l. That any other items shown in the final development plan or in the accompanying text be addressed to the Planning and Zoning Commission's satisfaction.

**Department and Agency Review**

- Zoning Inspector – No comments.
- City Engineer – No comments.
- Public Service – See attached.
- Pataskala Utilities – No comments.
- Police Department – No Comments.
- West Licking Joint Fire District – No comments.
- Southwest Licking School District – No Comments.



**Modifications:**

Should the Planning and Zoning Commission choose to approve the applicant's request, the following modifications may be considered:

1. The Applicant shall address all comments from the Public Service Department and Planning and Zoning Staff.
2. After all comments and questions have been addressed the Applicant shall submit a mylar copy of the revised Final Development Plan to the Planning and Zoning Department for signatures and records.

**Resolution:**

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

"I move to approve Application number FP-23-003 pursuant to Section 1225.13 of the Pataskala Code. ("with the following modifications" if modifications are to be placed on the approval)."

**From:** [Antonio Anzalone](#)  
**To:** [Jack Kuntzman](#); [Felix Dellibovi](#); [Trent Howell](#); [Scott Haines](#); [Sam Eppley](#); [abrown@verdantas.com](mailto:abrown@verdantas.com); [Bruce Brooks](#); [Doug White](#); [kperkins@laca.org](mailto:kperkins@laca.org); [Alan Haines](#)  
**Cc:** [Lisa Paxton](#); [Scott Fulton](#)  
**Subject:** RE: Pataskala PZC Review Memo for 01-03-2024  
**Date:** Tuesday, December 26, 2023 12:02:55 PM

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Good afternoon,

Please see Public Service Department's comments below, in red.

Thank you,

**Antonio Anzalone**

Assistant City Engineer  
City of Pataskala  
621 W. Broad Street, Suite 2B  
Pataskala, Ohio 43062  
Office: 740.927.3873  
Cell: 740.652.0685  
Email: [aanzalone@ci.pataskala.oh.us](mailto:aanzalone@ci.pataskala.oh.us)

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**From:** Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>  
**Sent:** Wednesday, December 13, 2023 2:08 PM  
**To:** Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Trent Howell <thowell@ci.pataskala.oh.us>; Scott Haines <shaines@hullinc.com>; Sam Eppley <seppley@verdantas.com>; abrown@verdantas.com; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; kperkins@laca.org; Alan Haines <ahaines@ci.pataskala.oh.us>; Antonio Anzalone <aanzalone@ci.pataskala.oh.us>  
**Cc:** Lisa Paxton <lpaxton@ci.pataskala.oh.us>; Scott Fulton <sfulton@ci.pataskala.oh.us>  
**Subject:** Pataskala PZC Review Memo for 01-03-2024

Good Morning Everyone,

You are receiving this email because one or more of the Application(s) submitted for the **January 3, 2024**, Planning and Zoning Commission are within your jurisdiction. Please see the list below for which Applications are being submitted for your review.

**Final Plan Application FP-23-003:** Felix Dellibovi, Trent Howell, Verdantas, Bruce Brooks, Doug White, Kasey Perkins, Public Service Department  
Relief joints on sheet 4 does not match what is shown in the construction plans. The relief joint locations for Reign Way should be 0+50, 4+25, and 8+50.

Please review the applications, and if you have any comments or concerns regarding them they may



## CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers  
621 West Broad Street  
Pataskala, Ohio 43062

### FINAL PLAN APPLICATION

(Pataskala Codified Ordinances Chapter 1113)

Property Information		
Address: Hazelton - Etna Road, Pataskala, Ohio 43062		
Parcel Number: 255-067746		
Zoning: R-15 (Cluster)	Acres: 8.23	
Water Supply:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site
Wastewater Treatment:		
<input checked="" type="checkbox"/> City of Pataskala	<input type="checkbox"/> South West Licking	<input type="checkbox"/> On Site

Staff Use
Application Number:
Fee:
Filing Date:
Hearing Date:

Applicant Information		
Name: M/I Homes		
Address: 4131 Worth Avenue, Suite 310		
City: Columbus	State: OH	Zip: 43219
Phone: (614) 379-4044	Email: jwest@mihomes.com	

Owner Information		
Name: M/I Homes of Central Ohio LLC		
Address: 4131 Worth Avenue, Suite 310		
City: Columbus	State: OH	Zip: 43219
Phone: (614) 379-4044	Email: jwest@mihomes.com	

Documents
<input type="checkbox"/> Application
<input type="checkbox"/> Fee
<input type="checkbox"/> Final Plan
<input type="checkbox"/> Deed
<input type="checkbox"/> Address List
<input type="checkbox"/> Area Map

Final Plan Information
Describe the Project:
This Final Development Plan is for Forest Ridge Section 2.
It includes 30 lots on 8.23 acres. No Reserve Areas or open space areas are part of this section.

## Documents to Submit

**Final Plan Application:** Submit 14 copies of the final plan application.

**Final Plan:** Submit 14 copies of the final plan on sheets 24 x 36 inches in size containing the following:

- a) *Proposed name of the subdivision, location by section, range, township or other officially recognized survey number, date, north arrow, scale and acreage.*
- b) *Name and address of the owner and subdivider, State of Ohio registered professional engineer, and/or surveyor who prepared the plan, and their appropriate registration numbers and seals.*
- c) *Plan boundaries, based on accurate traverse, with angular and lineal dimensions. All dimensions, both linear and angular shall be determined by an accurate control survey in the field which must balance close, within the limit of one (1) in 10,000.*
- d) *Bearing and distances to nearest established street lines, or other recorded permanent monuments.*
- e) *Exact locations, right-of-way, names of all streets within and adjoining the plat, and the building setback lines.*
- f) *Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths of bearings and chords of all applicable streets within the plat area.*
- g) *All easements and right-of-way provided for public or private services and/or utilities.*
- h) *All lot numbers and lines with accurate dimensions in feet and hundredths. When lots are located on a curve, the lot width at the building setback line shall be shown.*
- i) *Accurate location and description of all monuments.*
- j) *Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for the common use of all property owners. The use and accurate boundary locations shall be shown for each parcel of land to be dedicated.*
- k) *A copy of any restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision.*
- l) *Certification by a State of Ohio registered surveyor to the effect that the plan represents a survey made by him, that the monuments shown thereon exist as located, and that all dimensional details are correct.*
- m) *Typical sections and complete profiles of streets and other related improvements to be constructed in the proposed subdivision.*
- n) *The location of, and a description of all monuments and pins as specified in Section 1121.04.*
- o) *If a zoning change is involved, certification from the City Zoning Inspector shall be required indicating that the change has been approved and is in effect.*
- p) *Certification shall be required showing that all required improvements have been installed and approved by the proper City officials and/or other agencies, or the required bond or other surety is in effect assuring installation and initial one (1) year minimum maintenance of the required improvements (Section 1113.18(d)).*

**Deed:** Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at [www.lcounty.com/rec](http://www.lcounty.com/rec).

**Address List:** Submit one copy of a list of all property owners and addresses of those owning property within 200 feet or two parcels from any point on the subject property line, whichever creates more property owners. This list must be in accordance with the Licking County Auditor's current tax list and must be submitted on mailing labels.

**Area Map:** Submit 14 copies of an area map from the Licking County Engineer's office showing the area encompassed by the address list. Area maps can be obtained at [www.lcounty.com/taxparcelviewer/default](http://www.lcounty.com/taxparcelviewer/default).

## Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this final plan request.

Applicant:

Date:

Owner:

Date:

# FOREST RIDGE SECTION 2

## FINAL DEVELOPMENT PLAN

LOCATED IN:

SITUATED IN THE STATE OF OHIO, COUNTY OF LICKING, CITY OF PATASKALA,

LOT 31, QUARTER TOWNSHIP 2, TOWNSHIP 1, RANGE 14,

UNITED STATES MILITARY LANDS

### NOTES:

- NOTE "A": ALL OF FOREST RIDGE SECTION 2 IS IN THE FLOOD HAZARD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 59089C0293J, EFFECTIVE DATE MARCH 16, 2015.
- NOTE "B": NO VEHICULAR ACCESS TO BE IN EFFECT UNTIL SUCH TIME AS THE PUBLIC RIGHT-OF-WAY IS EXTENDED BY PLAT OR DEED.
- NOTE "C": ALL CONTOURS SHOWN HEREON ARE SET AT ONE FOOT INTERVALS.
- NOTE "D": 'NO PARKING' SIGNS SHALL BE POSTED ON THE SAME SIDE OF THE STREETS AS THE FIRE HYDRANTS FOR ROADWAYS 33 FEET IN WIDTH OR LESS.
- NOTE "E": A 3 BOARD SPLIT RAIL FENCE (4' HIGH) SHALL BE INSTALLED AT THE REAR OF LOTS 1-4 IN SECTION 1, 30-33 IN SECTION 2, 60-63 IN SECTION 3, TO SERVE AS A VISUAL BARRIER TO THE ADJACENT TOWNSHIP PROPERTY.

### VARIANCES:

- VA-23-004 – VARIANCE FROM SECTION 1117.10 OF THE PATASKALA CODE TO ALLOW FOR FOUR (4) INTERSECTIONS TO NOT MEET THE REQUIREMENT THAT THEY REMAIN IN THE ANGLE OF INTERSECTION FOR 100-FEET BEYOND THE POINT OF INTERSECTION.
- VA-23-005 – VARIANCE FROM SECTION 1117.10 OF THE PATASKALA CODE TO ALLOW FOR REDUCED INTERSECTION SEPARATION BETWEEN THE INTERSECTIONS OF FANNIN DRIVE AND RUBY ROAD, AND WATERLILY WAY AND RUBY ROAD.
- VA-23-006 – VARIANCE FROM SECTION 1117.07 OF THE PATASKALA CODE TO ALLOW FOR LESS THAN THE MINIMUM OF 100-FEET SEPARATION BETWEEN REVERSE CURVES.

#### COUNCIL VARIANCES – 03-20-2023

- 1.) VARIANCE FROM SECTION 1296.07 TO ALLOW FOR A REDUCTION IN THE NUMBER OF DRIVEWAYS THAT MUST BE GROUPED. THE CITY ADMINISTRATOR OR DESIGNEE SHALL APPROVE DEVIATIONS FROM THE REQUIREMENTS THIS SECTION IF IT IS DETERMINED THAT THE GROUPING OF DRIVEWAYS IS NOT POSSIBLE OR WOULD NEGATIVELY AFFECT THE FUNCTIONALITY OF THE SUBDIVISION.
- 2.) VARIANCE FROM SECTION 1296.14(B) TO ALLOW FOR A REDUCTION IN THE MINIMUM WIDTH OF SHUTTERS TO 15-INCHES. ALL SHUTTERS SHALL BE INSTALLED WITH HARDWARE THAT GIVES THE APPEARANCE THAT THE SHUTTER IS FUNCTIONAL.
- 3.) VARIANCE FROM SECTION 1296.15(A) TO ALLOW FOR A REDUCTION IN THE MINIMUM WIDTH OF THE THREE-DIMENSIONAL DOOR SURROUND TO A MINIMUM OF FIVE (5) INCHES.

### INDEX OF DRAWINGS

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STREET, STORM SEWER & WATERLINE IMPROVEMENTS:	1-11 of 11
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### SITE STATISTICS:

TOTAL ACREAGE:	±8.23 ACRES
RIGHT-OF-WAY AREA:	±1.67 ACRES
NET ACREAGE (EXCLUDING R/W):	±6.56 ACRES
TOTAL NUMBER OF UNITS:	30
GROSS DENSITY:	±3.65 LOTS/ACRE
NET DENSITY (EXCLUDING R/W):	±4.57 LOTS/ACRE
ZONING:	R-15 (CLUSTER)
TOTAL OPEN SPACE SECT. 2:	±0.0 ACRES
DESIGN STANDARDS:	
BUILDING LINE / FRONT SETBACK:	30' MINIMUM
SIDE YARD SETBACK:	5' MINIMUM (TOTAL OF 10')
REAR YARD SETBACK:	30' MINIMUM
MIN. LOT SIZE:	70' x 125' (8,750 SF)

Applicant: M/I Homes of Central Ohio Date

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ Director of Public Utilities, Pataskala, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ Director of Public Services, Pataskala, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ City Administrator, Pataskala, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ City Engineer, Pataskala, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ Chairman, Planning and Zoning Commission, Pataskala, Ohio

Approved this \_\_\_\_ day of \_\_\_\_, 20\_\_ Director of Planning, Pataskala, Ohio

Professional Engineer: EMH&T Date

The plan as shown hereon is for planning purposes only. Not to be used for construction.

### OWNER / DEVELOPER:



M/I HOMES

mihomes.com

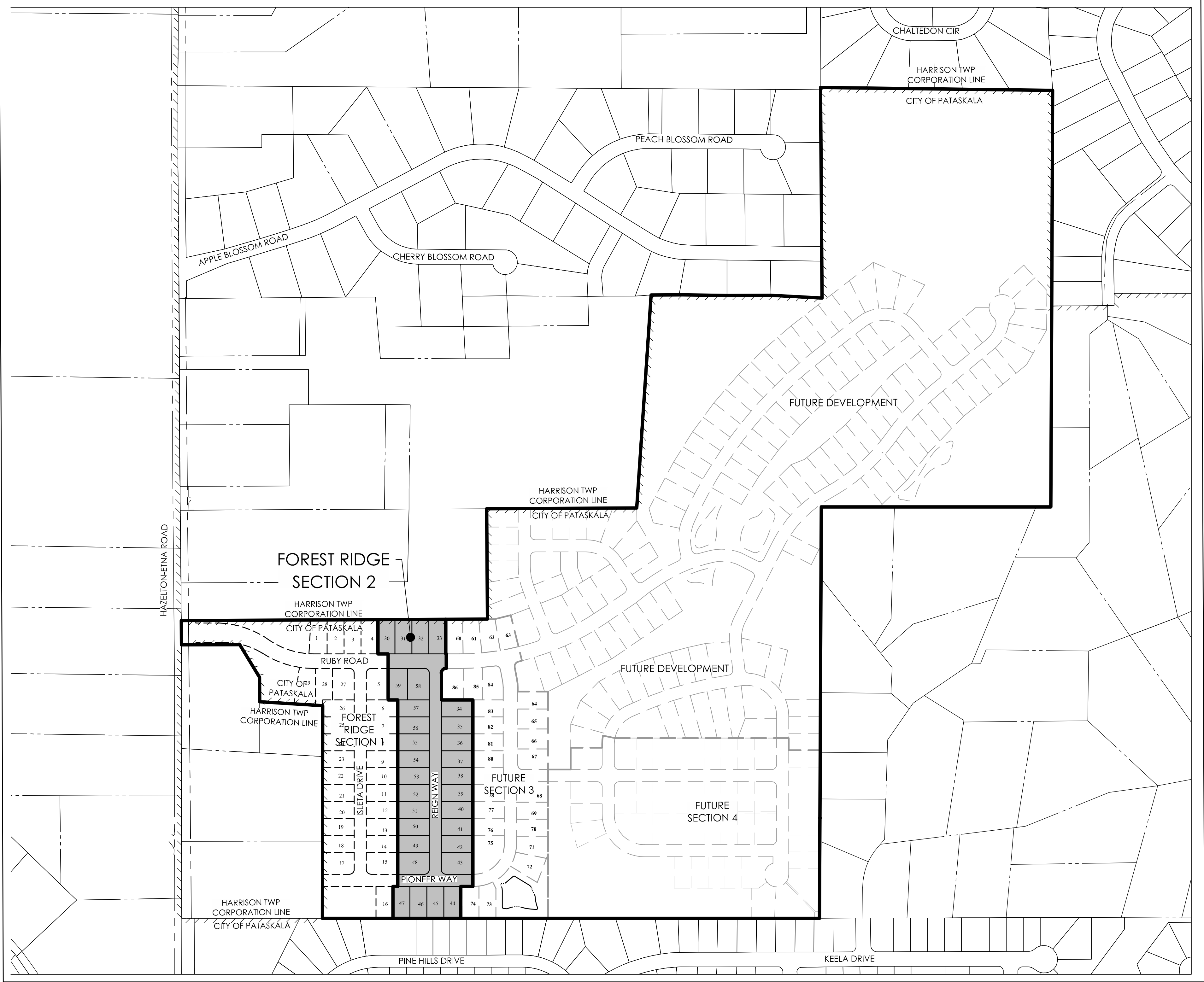
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

SUBMITTAL: DECEMBER 8, 2023

CIVIL ENGINEER &  
LANDSCAPE ARCHITECT

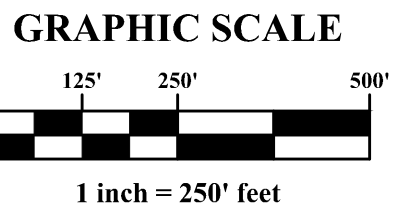


Evans, Mechwart, Hambleton & Tillan, Inc.  
Engineers • Surveyors • Planners • Scientists  
5500 New Albany Road, Columbus, OH 43054  
Phone: 614.775.4500 Toll Free: 888.775.3648  
emht.com



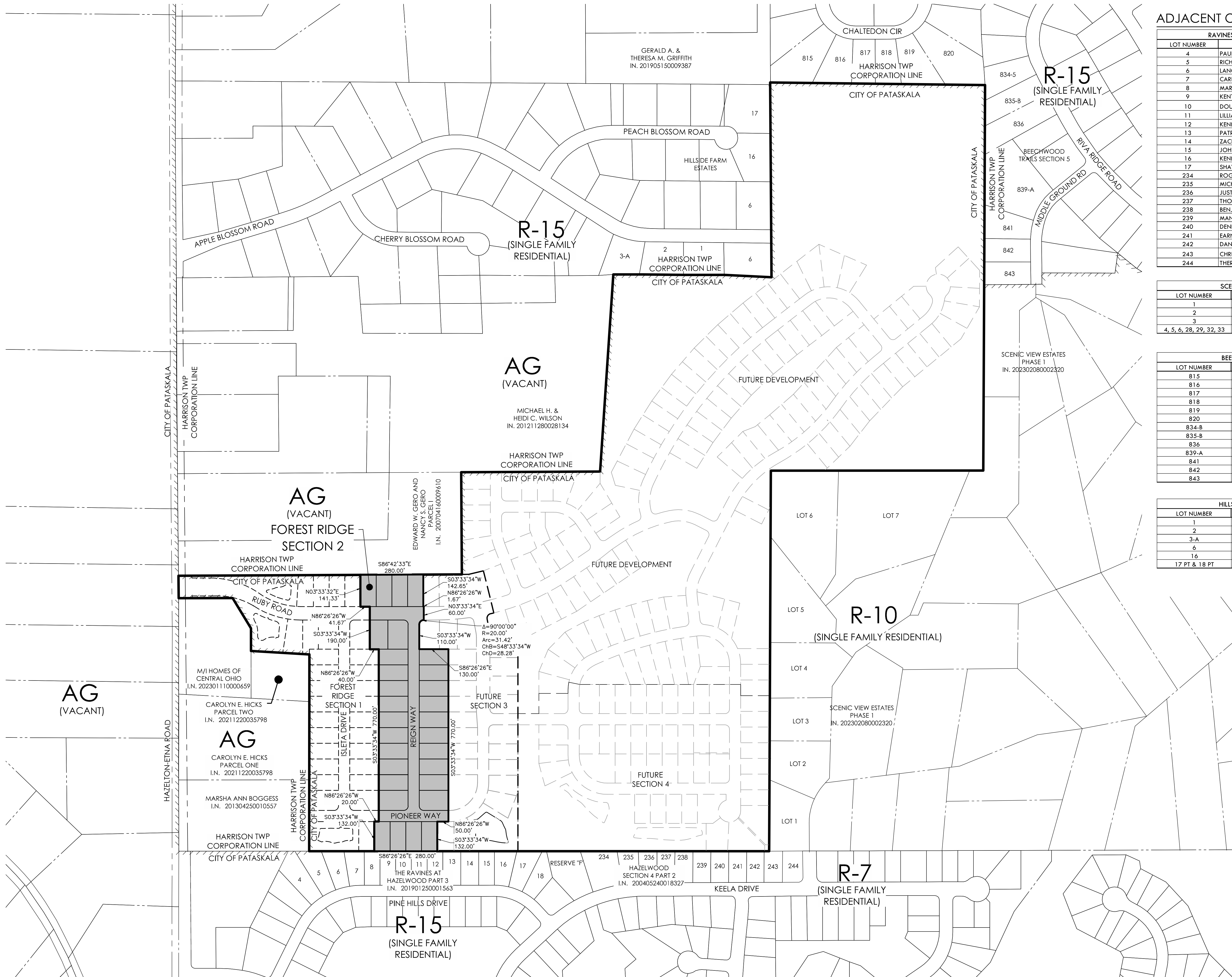
### SUBAREA MAP

SCALE: 1"=250'





J:\20220926\Draw\045\Sheets\Final development plan\section 2\1 Regional Context Map.dwg, Last Saved By: jlobdy, 12/17/2023 1:31 PM Last Printed By: O'hara, Shaun, 12/6/2023 9:28 AM (No Xrefs)



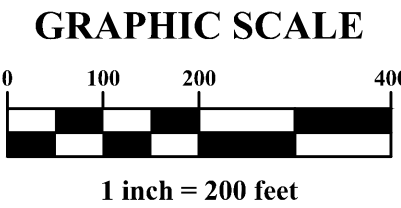
ADJACENT OWNERS

RAVINES AT HAZELWOOD	
LOT NUMBER	OWNER
4	PAUL J. & DONNA M. TOOMEY
5	RICHARD A. & JOYCE E. HARKLESS
6	LANCE E. & NICOLE HUMPHREY
7	CARL R. & BETTIE A. PAUGH
8	MARK & MARY KAY TWAITS
9	KENTON & CONSTNACE O. CURENTON
10	DOUGLAS R. & LAURA M. THOMPSON
11	LILLIAN R. JONES
12	KENNETH A. & JEANIE G. BURCH
13	PATRICIA ANN & GEORGE ALLISON RIDER
14	ZACHARY S. & MELISSA D. ATKINSON
15	JOHN J. & KARIN AEY
16	KENNETH L. & TERRI E. KOWIS
17	SHAWN A. & KATHRYN B. FOSTER
234	ROGER C. HOUSEHOLDER
235	MICHAEL A. & VIKI L. DROESCH
236	JUSTIN M. & THERESE M. QUATTRO
237	THOMAS FELICIA
238	BENJAMIN S. & SAMANTHA FITZ
239	MANDY K. RENNIE
240	DENNIS P. DOUDS
241	EARNEST BROWN
242	DANIEL E. & DEANNA E. KORTE
243	CHRISTOPHER H. & BARBARA DRISCOLL
244	THERON R. & DORINDA ELLINGER

SCENIC VIEW ESTATES	
LOT NUMBER	OWNER
1	ROSS N. & JESSICA L. MELORO
2	KLINA & SERGEY KAHANA
3	BRADLEY DYE
4, 5, 6, 28, 29, 32, 33	SCENIC VIEW ESTATES LLC.

BEECH WOOD TRAILS	
LOT NUMBER	OWNER
815	JAMES R. & KRISTIN A. HUNT
816	MORRIS U. & CYNTHIA PAUL
817	JAY A. & STACIE L. RHOADES
818	MICHAEL W. & ANDREA L. SHEPERD
819	CHRISTOPHER M. PERROTTA
820	JASON M. & JENNIFER L. TOMLINSON
834-B	ROBERT & SUSAN BRACEY
835-B	LEO & KATE KOTAS
836	AUNDA KLOPPER
839-A	WAYNE R. & CAMMIE RATLIFF
841	RONALD W. & LYNDIA RATLIFF
842	LUKE C. & RIYA H. BAILEY
843	DANIEL D. & KATHERINE L. MAHONEY

HILLSIDE FARM ESTATES	
LOT NUMBER	OWNER
1	THOMAS F. & JUDITH A. KOSCIUSZKO
2	DIANE ARPS
3-A	PAUL R. AMANDA J. KING
6	LARRY L. ELISABETH C. LIPPENCOTT
16	JAMES J. & DOROTHY A. SPEZIALE
17 PT & 18 PT	KINDEA & JOHN W. BURR



REVISIONS

MARK	DATE	DESCRIPTION

**M/I HOMES**  
mihomes.com  
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

FINAL DEVELOPMENT PLAN  
FOR

**FOREST RIDGE**  
**SECTION 2**

SITUATED IN THE STATE OF OHIO, JACKSON COUNTY, CITY OF PATASKALA,  
LOT 13, QUARTER TOWNSHIP 2, TOWNSHIP 1, RANGE 14,  
UNITED STATES MILITARY LANDS

VICINITY MAP & REGIONAL CONTEXT MAP



DATE  
December 8, 2023

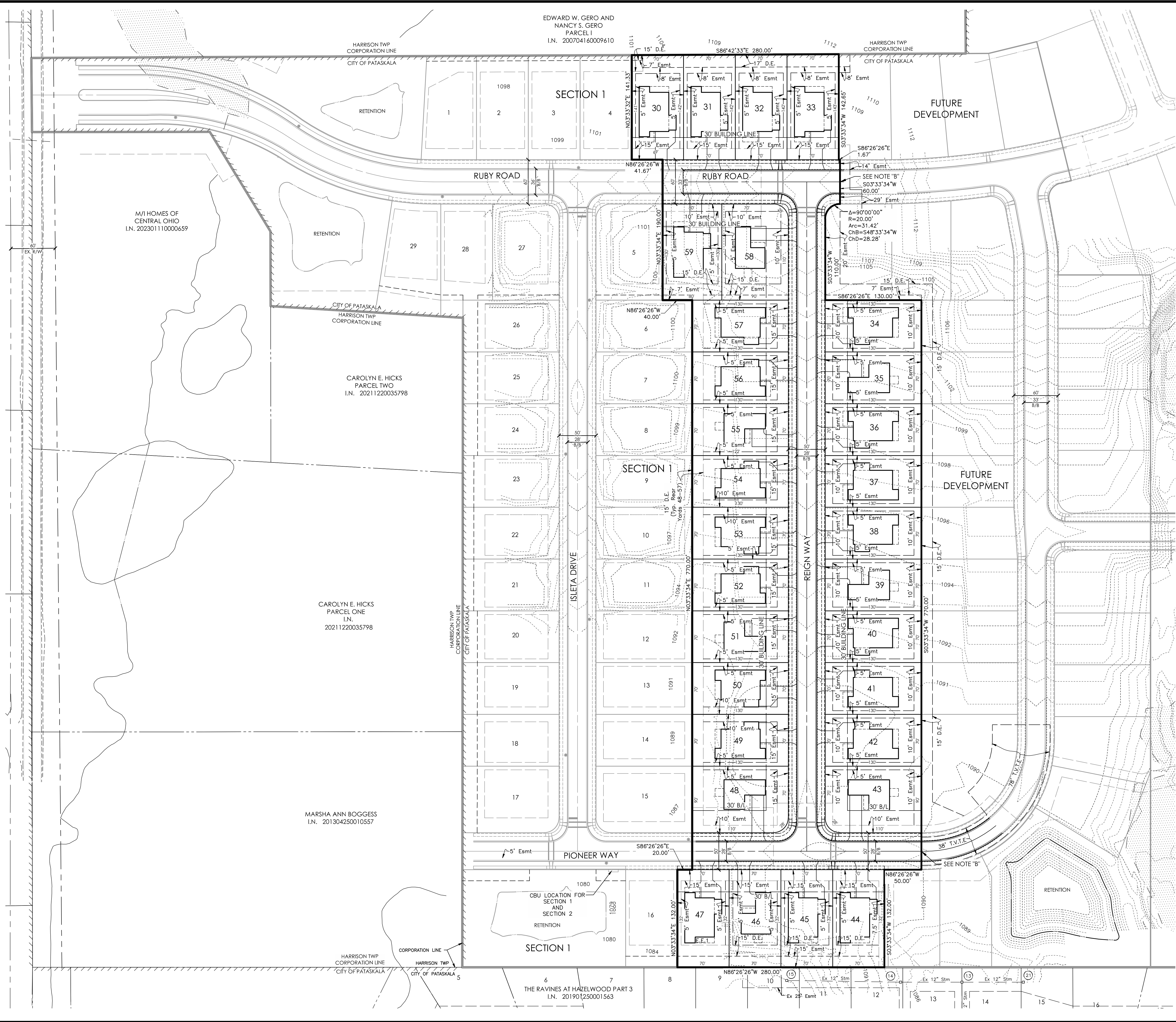
SCALE  
1" = 200'

JOB NO.  
20220926

SHEET  
1/6



\\20220826\Draw\04Streets\final\_development\_plan\section\_2\2 Site Plan.dwg, Last Saved By: scharn, 12/6/2023 11:23 AM, Last Printed By: Obara, Shaur, 12/6/2023 12:20 PM (No Xrefs)



LOT ACREAGE:

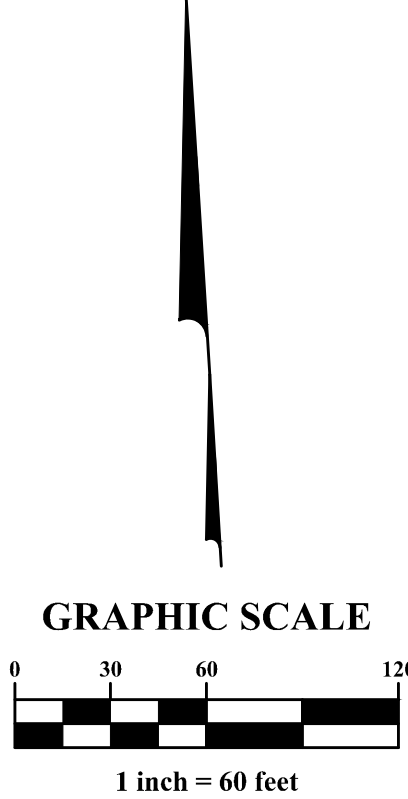
LOT 30	±0.227 AC.	LOT 45	±0.212 AC.
LOT 31	±0.228 AC.	LOT 46	±0.212 AC.
LOT 32	±0.228 AC.	LOT 47	±0.212 AC.
LOT 33	±0.229 AC.	LOT 48	±0.267 AC.
LOT 34	±0.209 AC.	LOT 49	±0.209 AC.
LOT 35	±0.209 AC.	LOT 50	±0.209 AC.
LOT 36	±0.209 AC.	LOT 51	±0.209 AC.
LOT 37	±0.209 AC.	LOT 52	±0.209 AC.
LOT 38	±0.209 AC.	LOT 53	±0.209 AC.
LOT 39	±0.209 AC.	LOT 54	±0.209 AC.
LOT 40	±0.209 AC.	LOT 55	±0.209 AC.
LOT 41	±0.209 AC.	LOT 56	±0.209 AC.
LOT 42	±0.209 AC.	LOT 57	±0.209 AC.
LOT 43	±0.267 AC.	LOT 58	±0.267 AC.
LOT 44	±0.212 AC.	LOT 59	±0.239 AC.

LEGEND:

Esmt = Utility Easement  
D.E. = Drainage Easement  
T.V.T.E. = Temporary Vehicular Turnaround Easement

House Pad (Approximate)

Street Lights:  
Street lights shall be required as per City of Pataskala Standard Drawings and Specifications. Light fixtures to be installed shall be the City of Pataskala Residential Colonial Style fixture.



REVISIONS

MARK	DATE	DESCRIPTION

**M/I HOMES**  
mihomes.com  
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

FINAL DEVELOPMENT PLAN  
FOR  
**FOREST RIDGE**  
SECTION 2  
SITUATED IN THE STATE OF OHIO, JACKSON CITY OF PATASKALA,  
LOT 34, QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 14,  
UNITED STATES MILITARY LANDS  
SITE PLAN

**EMH.T**  
Evans, Meecham, Hamblen & Tilton, Inc.  
Engineers • Surveyors • Planners • Geologists  
5000 North High Street, Suite 200, Columbus, OH 43230  
Phone: 614.775.6200 emht.com

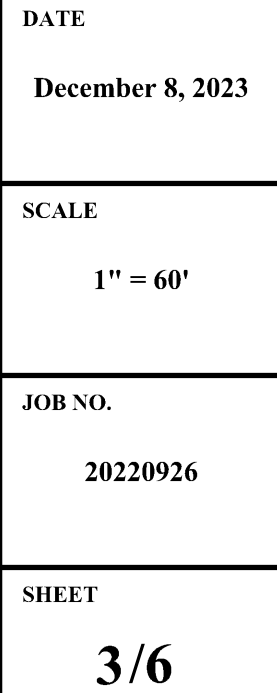
DATE  
December 8, 2023

SCALE  
1" = 60'

JOB NO.  
20220926

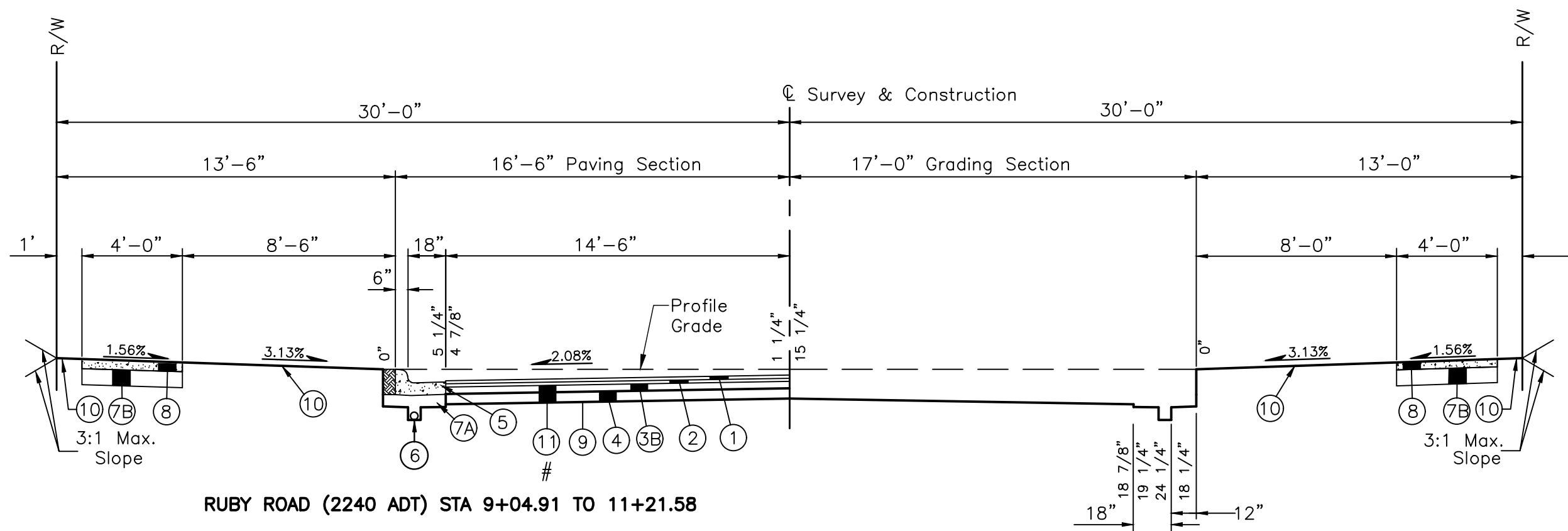
SHEET  
2/6





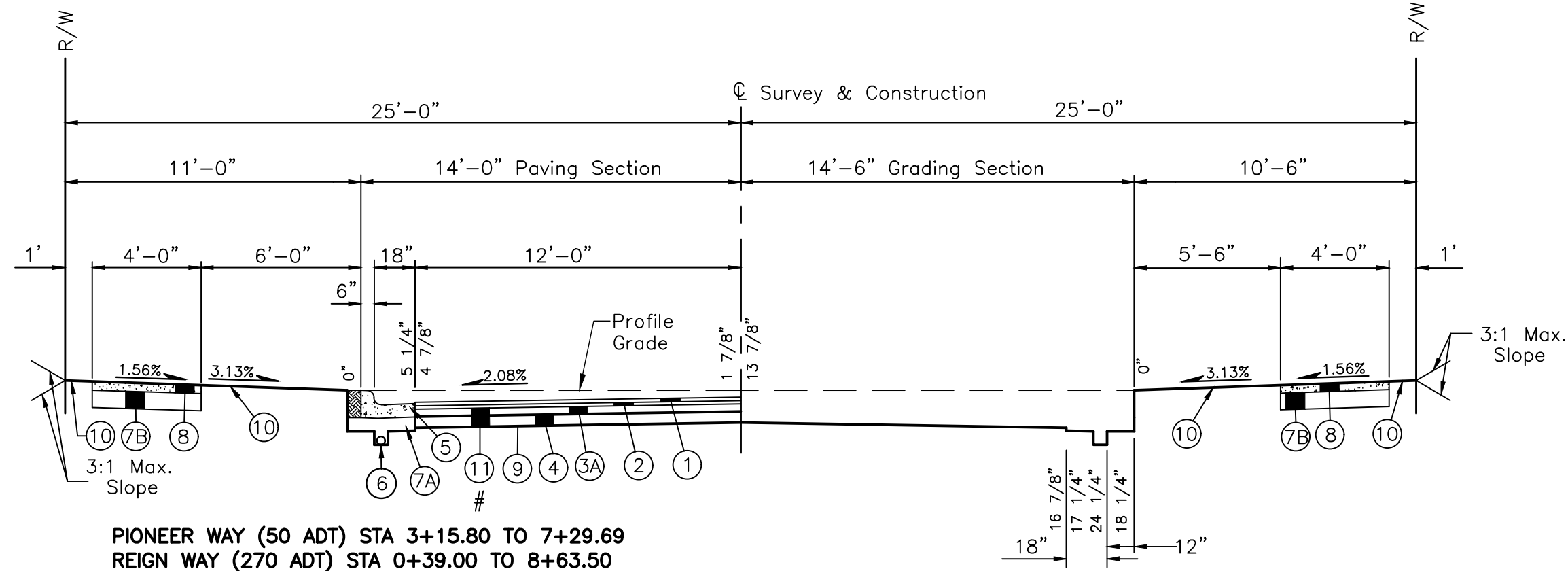


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**TYPICAL 33' SECTION (60' R/W) STANDARD CURB & GUTTER**

Not to Scale



**TYPICAL 28' SECTION (50' R/W) STANDARD CURB & GUTTER**

Not to Scale

**PAVEMENT ALTERNATE NOTES (#)**

If alternate is selected, pavement relief joints per City of Columbus Std Dwg 2175 shall be installed at the following roadway stations:

Ruby Road: 9+04.91 (29')  
Reign Way: 5+35.00 (24')  
Pioneer Way: 3+15.80 (24')

Additional locations may be requested by the City of Pataskala. Contractor to coordinate with the City prior to installation.

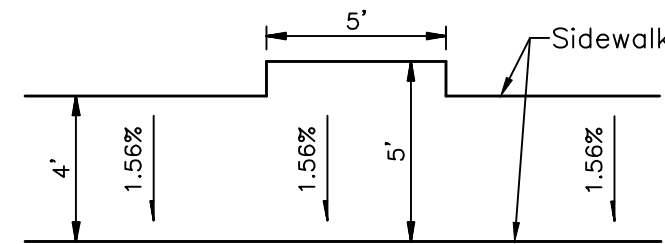
Contractor to contact engineer to verify boxout depths prior to construction.

**PAVEMENT LEGEND (STANDARD COMPOSITE PAVEMENT)**

(Per City of Columbus Residential Street Pavement Design)

- ① Item 441 - 1 1/2" Asphalt Concrete Surface Course, Type 1, (448), PG64-22
- ② Item 441 - 1 1/2" Asphalt Concrete Intermediate Course, Type 2, (448)
- ③A Item 301 - 3" Bituminous Aggregate Base
- ③B Item 301 - 5" Bituminous Aggregate Base
- ④ Item 304 - 6" Aggregate Base
- ⑤ Item 609 - City of Columbus Standard Concrete Curb & Gutter, Std. Dwg. 2010
- ⑥ Item 605 - 4" Pipe Underdrain
- ⑦A No. 8 or No. 57 Aggregate (Included in cost of Item 609)
- ⑦B 3" No. 57 Aggregate (Included in cost of Item 608)
- ⑧ Item 608 - 4" Concrete Sidewalk
- ⑨ Item 204 - Subgrade Compaction
- ⑩ Item 659 - Seeding and Mulching
- ⑪ Item 307 - 7" Roller Compacted Concrete Base - Residential (Alternate) #

Sidewalk shall widen to 5' in width within the limits of driveways or every 200', whichever is more frequent.



**PEDESTRIAN PASSING SPACE (PPS)**

**TYPICAL DETAIL**

Not to Scale

**REVISIONS**

MARK	DATE	DESCRIPTION

**M/I HOMES**  
mihomes.com  
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

**FINAL DEVELOPMENT PLAN**  
**FOR**  
**FOREST RIDGE**  
**SECTION 2**  
SITUATED IN THE STATE OF OHIO, COUNTY OF LAMAR, CITY OF PATASKALA,  
LOT 14, QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 14,  
UNITED STATES MILITARY LANDS  
**SITE PLAN**

**EMHT**  
Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Geologists  
5000 North High Street, Suite 200, Columbus, OH 43230  
Phone: 614.775.4800 Fax: 614.775.4800  
emht.com

**DATE**  
December 8, 2023

**SCALE**  
None

**JOB NO.**  
20220926

**SHEET**  
4/6



I:\2022\0926\Dev\04\Sheet3\final\_development\_plan\section 2\5\_Landscape\_Plan.dwg, Last Saved: 12/6/2023 8:38 AM, Last Printed: 12/6/2023 9:29 AM (No Xrefs)

HAZELTON-ETNA ROAD

NANCY S. GERO  
PARCEL 1  
I.N. 200704160009610

INSTALL 3-BOARD FENCE.  
SEE NOTE "E" SHEET 1

INSTALL 3-BOARD FENCE.  
SEE NOTE "E" SHEET 1

INSTALL 3-BOARD FENCE.  
SEE NOTE "E" SHEET 1

FUTURE  
DEVELOPMENT

RUBY ROAD

CAROLYN E. HICKS  
PARCEL TWO  
I.N. 20211220035798

CAROLYN E. HICKS  
PARCEL ONE  
I.N. 20211220035798

ISLETA DRIVE

REGWAY




FUTURE  
DEVELOPMENT

PIONEER WAY

SECTION 1

THE RAVINES AT HAZELWOOD PART 3  
I.N. 201901250001563

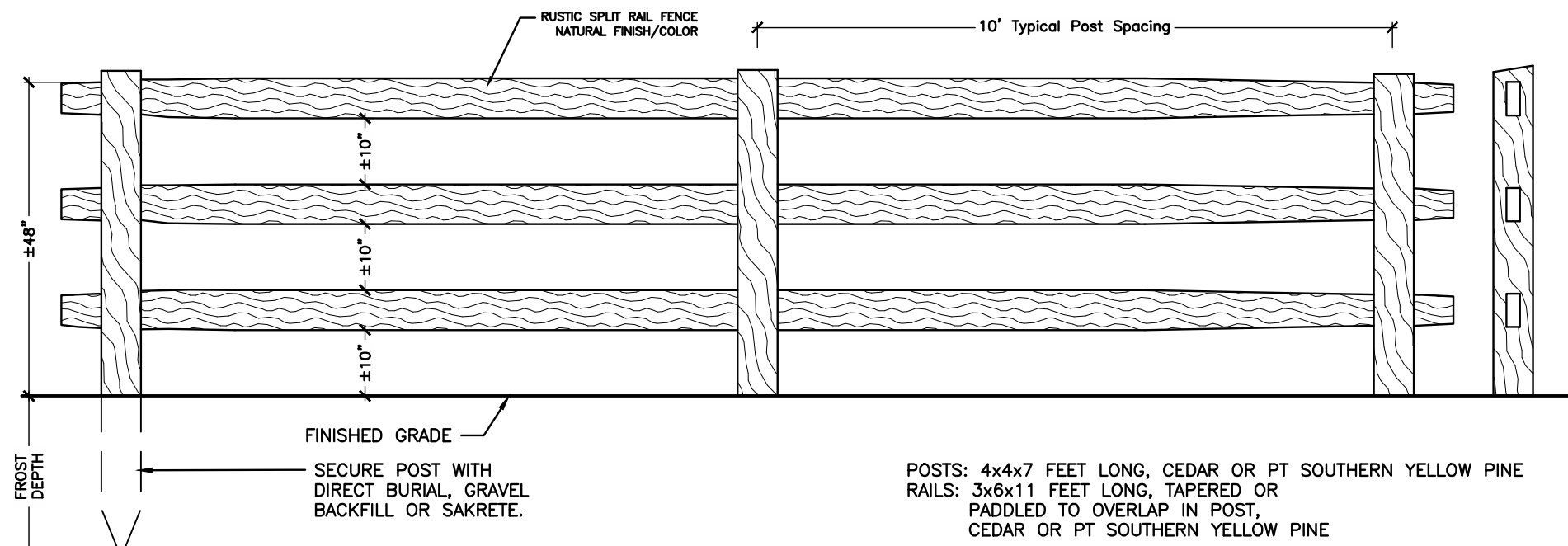
#### PLANT SCHEDULE STREET TREE

STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	DETAIL
	AF	13	Acer freemanii 'Autumn Fantasy' Autumn Freeman Maple	2.5" Cal.	B&B	
	QA	8	Quercus acutissima Sawtooth Oak	2.5" Cal.	B&B	
	QR	39	Quercus rubra Red Oak	2.5" Cal.	B&B	

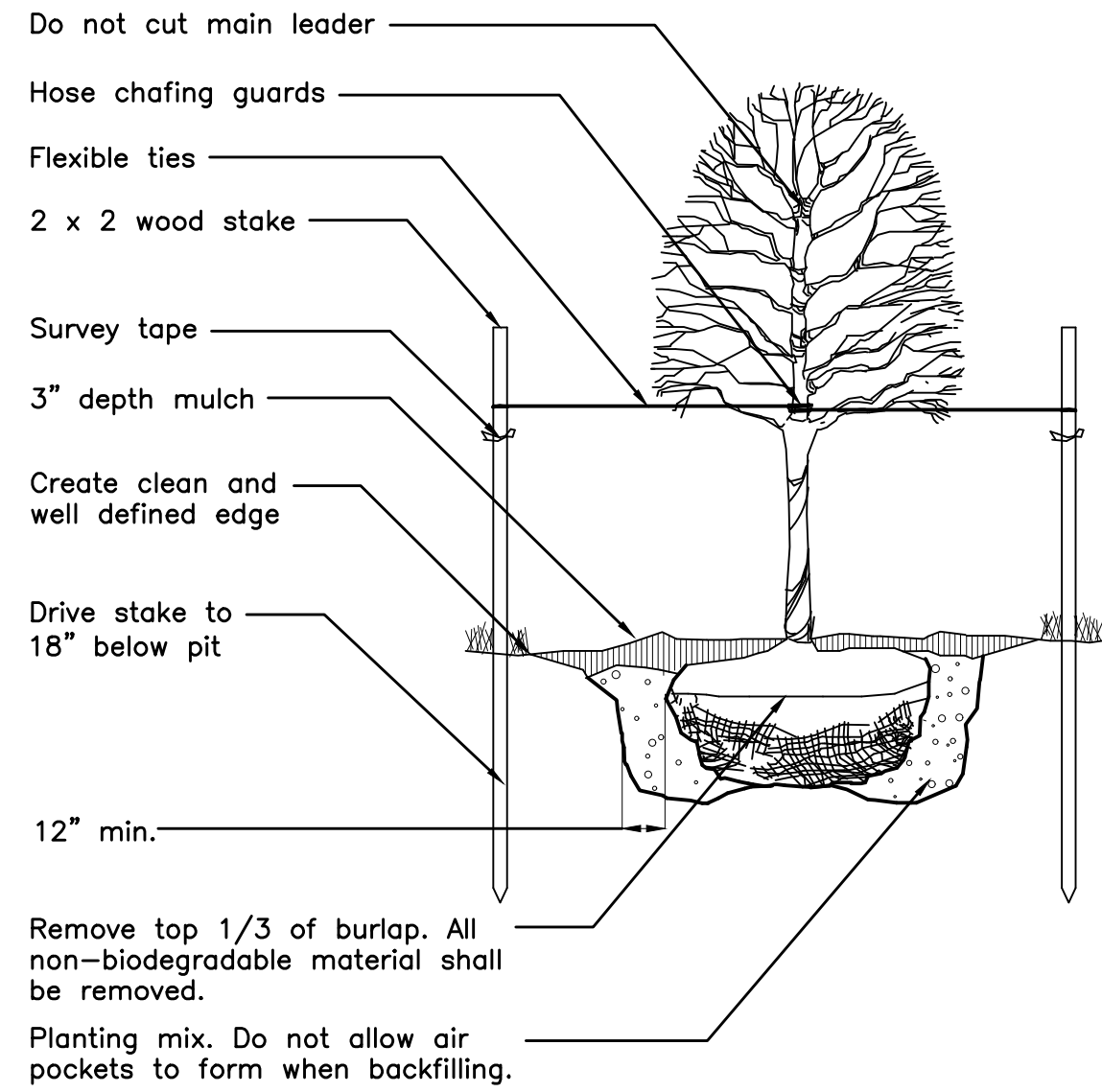
#### NOTES:

- THE DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE ANY OR ALL PORTIONS OF THE MATERIALS/EQUIPMENT WITH MATERIALS/EQUIPMENT OF SIMILAR SIZE, STYLE, QUALITY AND COST WITH ADMINISTRATIVE APPROVAL FROM THE CITY OF PATASKALA.
- STREET TREES ARE REQUIRED AT ONE FOR EVERY 30 FEET OF STREET FRONTAGE AND OF APPROPRIATE TYPE PER SECTION 1283.05.

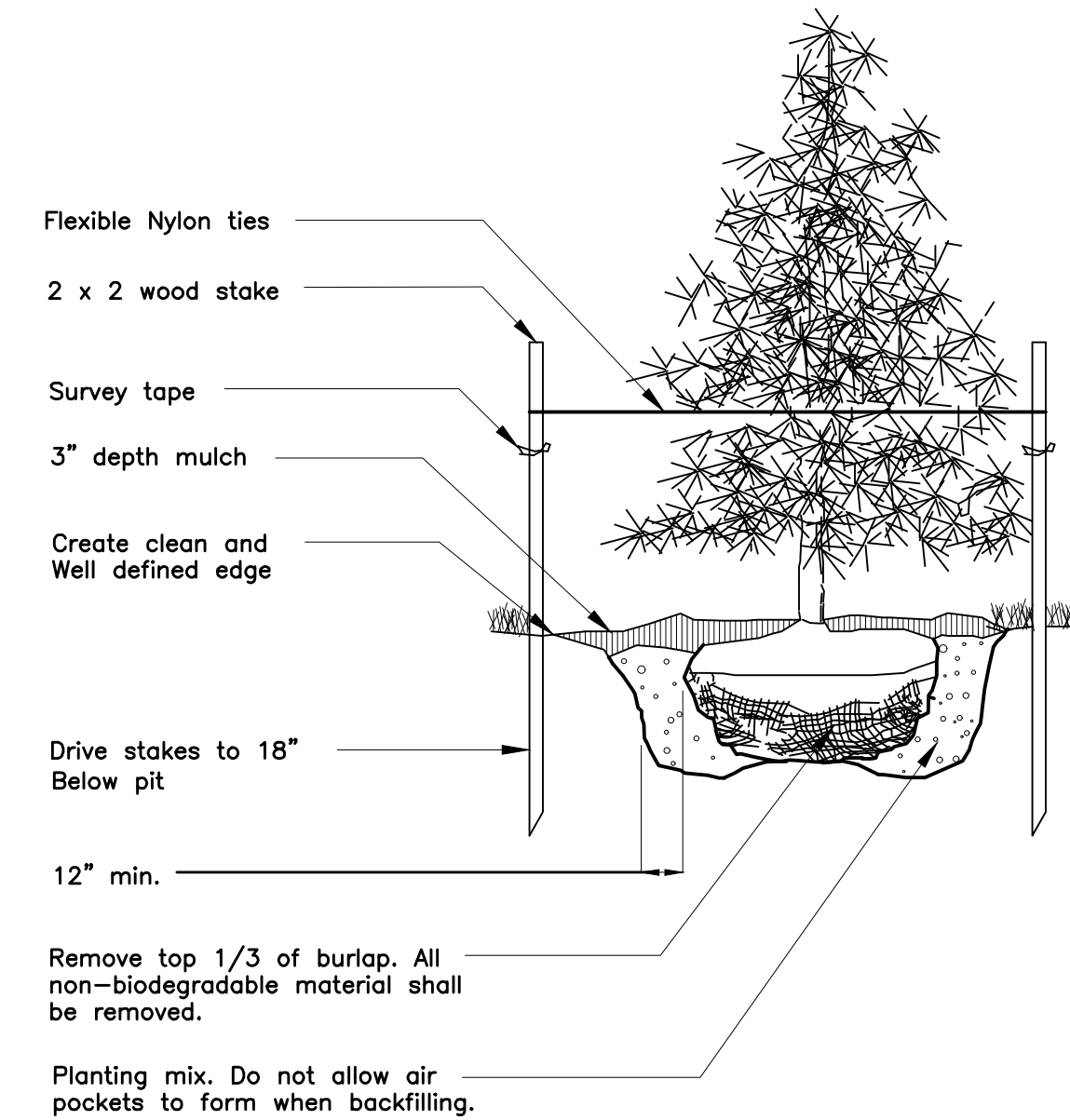
MARSHA ANN BOGGESE  
I.N. 201304250010557



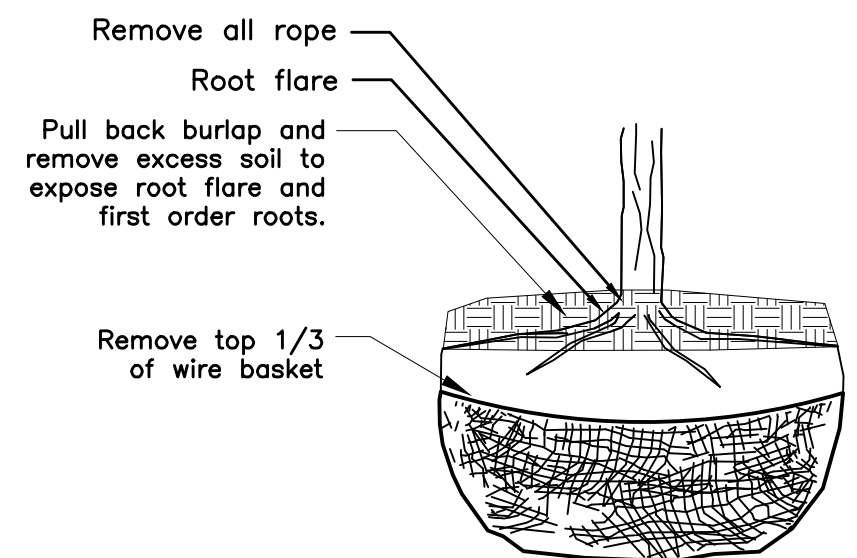
**SPLIT RAIL FENCE DETAIL**  
No Scale



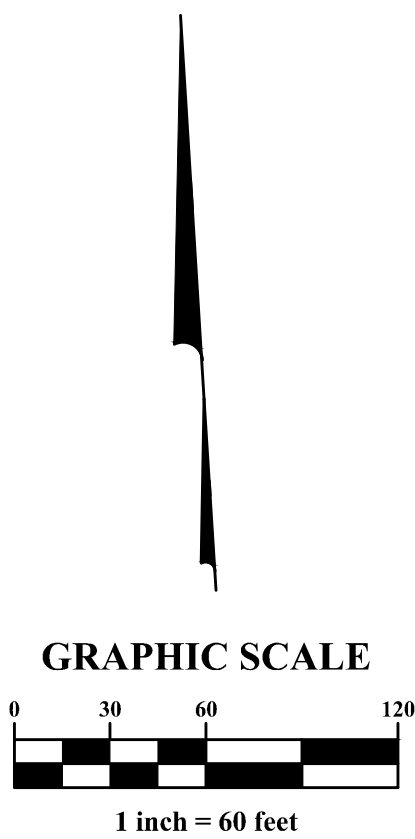
**Deciduous Tree Planting**  
No Scale



**Evergreen Tree Planting**  
No Scale



**Rootball Preparation**  
No Scale



#### REVISIONS

MARK	DATE	DESCRIPTION
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**M/I HOMES**  
mihomes.com  
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

FINAL DEVELOPMENT PLAN  
FOR  
**FOREST RIDGE**  
SECTION 2  
SITUATED IN THE STATE OF OHIO, COUNTY OF LAMAR, CITY OF PATASKALA,  
LOT 31, QUARTER TOWNSHIP 2, TOWNSHIP 1, RANGE 14,  
UNITED STATES MILITARY LANDS  
**LANDSCAPE PLAN**

**EMH.T**  
Evans, Mechwart, Hamblen & Tilton, Inc.  
Surveyors • Engineers • Planners • Architects  
500 Green • Columbus • Ohio 43215  
Phone: 614.775.6800 Fax: 614.775.6800  
emht.com

DATE  
December 8, 2023

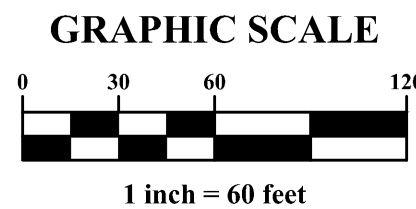
SCALE  
1" = 60'

JOB NO.  
20220926

SHEET  
5/6




J:\2022\0926\Draw\04\Streets\final development plan\section 2\9 Illustrative Site Plan.dwg, Last Saved By: sehara, 12/6/2023 9:58 AM Last Printed By: Chora, Shaun, 12/6/2023 9:58 AM (No Xrefs)



REVISIONS		
MARK	DATE	DESCRIPTION

**M / I HOMES**  
mihomes.com  
4131 WORTH AVENUE, SUITE 310  
COLUMBUS, OHIO 43219

FINAL DEVELOPMENT PLAN  
FOR  
**FOREST RIDGE**  
**SECTION 2**  
SITUATED IN THE STATE OF OHIO, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**EMHT**  
Evans, Mechwart, Hambleton & Tilton, Inc.  
Surveyors • Engineers • Planners • Architects  
5000 Lakeside Drive, Suite 200, Columbus, OH 43240  
Phone: 614.775.4000 Fax: 614.775.4001  
emht.com

DATE  
December 8, 2023

SCALE  
1" = 60'

JOB NO.  
20220926

SHEET  
6/6



DESCRIPTION APPROVED  
JARED N. KNERR  
LICKING COUNTY ENGINEER

Approved By JW Oct 06, 2022

01140000400000036000

**TRANSFERRED**

Oct 06, 2022  
Michael L. Smith  
LICKING COUNTY AUDITOR  
SEC 319.902 COMPLIED WITH  
MICHAEL L. SMITH  
By: TG 3803.40

InstrID:202210060024273	10/6/2022
Pages:5 F: \$58.00	10:52 AM
Bryan A. Long	T20220026030
Licking County Recorder	

\*11125W03-CO\*

### GENERAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That

**Fannin Limited Partnership, an Ohio Limited Partnership**, of the city of Pataskala, County of Licking, State of Ohio for valuable consideration paid, grants with general warranty covenants, to

**M/I Homes of Central Ohio, LLC, an Ohio Limited Liability Company**

Whose tax-mailing address is: 4131 Worth Avenue, 3<sup>rd</sup> Floor  
Columbus, OH 43219

The following REAL PROPERTY:

**See attached Exhibit "A"**

**Property Address: Apple Blossom Road, Pataskala, Ohio 43062**

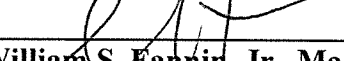
**Parcel Numbers: 255-069072-00.000 and 255-069066-00.005**

Subject to: a) Those certain matters reflected on Exhibit "B"; b) Legal highways;  
c) Taxes and Assessments from the date of closing.

Prior Instrument Reference: **199908190035031**

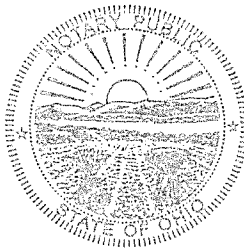
Executed this 30th day of September, 2022

**Fannin Limited Partnership, an Ohio Limited Partnership**  
**By: The Fannin Company, LLC, General Partner**

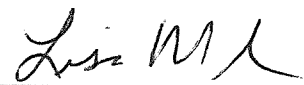
By:   
**William S. Fannin, Jr., Managing Member**

**STATE OF OHIO, COUNTY OF DELAWARE, ss:**

The foregoing instrument was acknowledged before me this 30th day of September, 2022, by William S. Fannin, Jr., Managing Member of The Fannin Company, LLC, General Partner of Fannin Limited Partnership, an Ohio Limited Partnership.



LISA MAHLERWEIN  
Notary Public, State of Ohio  
My Comm. Expires Jan. 23, 2024

  
Notary Public

This instrument was prepared by:  
Griffith Law Offices  
522 North State Street, Westerville, Ohio 43082

PRE-APPROVAL	
LICKING COUNTY ENGINEER	
APPROVED	CONDITIONAL
<input checked="" type="checkbox"/>	<input type="checkbox"/>
APPROVED BY:	<i>[Signature]</i>
DATE:	9-13-22

## Exhibit "A"

Situated in the State of Ohio, County of Licking, City of Pataskala, and being a part of farm Lots 29 and 30, in the 2nd Quarter, Township-1, Range-14, United States Military Lands, and being a survey of that 21.304 acre tract (Tax Duplicate) and 37.57 acre tract (Tax Duplicate, Parcel 2) as conveyed to Columbus Builders Supply Inc., by deed of record in Official Record Volume 335, Page 364, all references being to those of record in the Recorder's Office, Licking County, Ohio, said 52.399 acre parcel being more particularly bounded and described as follows:

Beginning at an existing iron pin (3/4" pipe) marking the Northwest corner of said farm Lot 29, the same being the northeasterly corner of that Subdivision entitled "Hillside Farm Estates", as recorded in Plat Book 11, Page 104, also being the southwesterly corner of Lot 815 in that subdivision entitled "Beech Wood Trails Section 5, as recorded in Plat Book 11, Page 94, and being the Point of Beginning of the hereon described 52.399 acre parcel:

thence southeasterly along the southerly line of Beech Wood Trails Section 5, South 88°24'49" East, 958.34 feet to an existing iron pin (3/4" pipe in the base of a tree) marking the southeasterly corner of Lot 820 in said subdivision, passing existing iron pins (3/4" pipes) at 183.97 feet, 469.82 feet, 587.93 feet and 785.87 feet;

thence southwesterly along the westerly line of said subdivision, South 01°08'47" West, 882.00 feet to an existing iron pin (3/4" pipe) marking the southwesterly corner of Lot 843, the same being the northwesterly corner of that 136.305 acre tract (Tax Duplicate) as conveyed to Evans Investment Company, by deeds of record in Deed Volume 728, Page 808 and Deed Volume 826, Page 86, this parcel was originally plated as Beech Wood Trails Section 6, and recorded in Plat Book 12, Page 30, and was vacated by the Licking County Auditor's Office and recorded in Deed Volume 826, Page 86, passing existing iron pins (3/4" pipes) at, 65.23 feet, 177.77, 301.59 feet, 443.46 feet, 526.32 feet, 681.25 feet, and 781.11 feet;

thence southwesterly along the westerly line of said 136.305 acre tract, South 01°08'05" West, 838.32 feet to an existing iron pin (1" pipe) on the southerly line of farm Lot 29;  
thence northwesterly along the southerly line of farm Lot 29, North 89°08'23" West, 947.04 feet to an iron pin set marking the northeasterly corner of that 80.791 acre tract (Tax Duplicate) as conveyed to Ruth L. Angevine, et.al., by deeds of record in Deed Volume 560, Page 579, Official Record Volume 235, Page 519, and Official Record Volume 315, Page 701, said iron pin also being the Northeast corner of farm Lot 31;

thence northwesterly along the northerly line of said farm Lot 31, North 89°22'18" West, 761.75 feet to an existing iron pin marking the southeasterly corner of that 21.656 acre tract (Tax Duplicate) as conveyed to Robert L. and Gail E. McPherson, by deed of record in Official Record Volume 160, Page 30;

thence northeasterly along the easterly line of said 21.656 acre McPherson tract, North 04°43'21" East, 881.28 feet to an existing iron pin marking the northeasterly corner of said 21.656 acre McPherson tract, said iron pin being on the southerly line of Lot 4 in that subdivision entitled Hillside Farm Estates, and recorded in Plat Book 11, Page 104;

thence southeasterly along the southerly line of said Hillside Farm Estates the following four (4) courses and distances:

South 89°13'27" East, 131.16 feet to an iron pin set, passing an existing iron pin (1/2" rebar) at 116.69 feet;

South 88°24'25" East, 183.40 feet to an existing iron pin (1/2" rebar);

South 89°12'58" East, 180.00 feet to an iron pin set; and...

South  $86^{\circ}10'52''$  East, 211.22 feet to an existing iron pin (1/2" rebar) marking the southeasterly corner of said subdivision and being on the westerly line of farm Lot 29;

thence northeasterly along the westerly line of said farm Lot 29, the same being the easterly line of Hillside Farm Estates subdivision, North  $00^{\circ}28'17''$  East, 869.08 feet to the Point of Beginning, and containing 52.399 acres more or less according to a survey performed by Jobes Henderson & Associates in March, 1999.

The bearings in the above description are based on the North line of farm Lot 29, the same being the southerly line of Beech Wood Trails Section 5, recorded in Plat Book 11, Page 94 (Sheet 5) as being North  $88^{\circ}24'49''$  West.

All iron pins set are 5/8" in diameter rebar by 30" in length with red surveyors identification caps marked "J&H PS 6878".

Subject to all valid and existing easements, restrictions and conditions of record.

**EXHIBIT "B"**

1. Subject to the Easement of Columbia Gas of Ohio, Inc., recorded in Official Record Volume 417, Page 565 in the official records of the Licking County Recording Office.
2. Subject to the Easement of Southwest Licking Community Water and Sewer District, recorded in Official Record Volume 619, Page 126 in the official records of the Licking County Recording Office.



