



CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

STAFF REPORT

March 6, 2024

Final Plan Application FP-24-001

Applicants:	Rockford Homes c/o Jim Lipnos
Owner:	Rockford Homes c/o Jim Lipnos
Location:	NE Corner of Refugee Road SW and SR310 (PID: 064-152964-00.004)
Acreage:	+/- 14.1-acres of +/- 95.35-acres total
Zoning:	PDD – Planned Development District
Request:	Requesting approval of a Final Development Plan pursuant to Section 1255.20 of the Pataskala Code for Phase 1 of the Hazelton Crossing Planned Development District consisting of 41 single-family lots.

Description of the Request:

The applicant is seeking approval of the Final Development Plan for Phase 1 of the Hazelton Crossing Planned Development District, consisting of 41 single-family lots, pursuant to Section 1255.20 of the Pataskala Code.

Staff Summary:

Hazelton Crossing is a Planned Development District that was established May 6, 2021, as a result of a settlement agreement between the City of Pataskala and Southgate Company, Ltd. (Resolution 2021-021). The property itself had been rezoned from AG – Agricultural in March of 2007 (Ordinance 2006-3746), and further rezoning in 2016 (Ordinance 2016-4257) to include an additional five (5) acres, approximately.

The Approved Preliminary Plan for Hazelton Crossing encompasses a total of approximately 95.35-acres and is divided into several subareas for different uses. A summary table of the subareas is below.

Subarea	Acreage (+/-)	Use	Density
A	25.10	Retail/Commercial	10,000sf/acre
B	8.4	Assisted Living	n/a
C	10.5	Condominiums	5 units/acre
D	51.35	Single-Family	3 units/acre

This Final Development Plan Application is for Phase 1 of Subarea D. The Construction Plans for Phase 1 (CON-21-008) received final approval on November 8, 2023. The first phase, out of four (4) total, will consist of 41 single-family lots on +/- 14.1-acres, with two (2) reserve areas containing the stormwater basins for the subdivision, totaling +/- 3.92-acres (27.9% of Phase 1). Phase 1 will include the construction of a full-access, boulevard entrance to/from Refugee Road, an emergency access from Refugee Road, and the creation of four streets: Ashburn Lane, Scotsgrove Drive, Coachman Drive, and Hannahs Drive.

Subarea 'D' – Single-Family Residential

Phase	FDP Approval Date	# of Lots	Status
1	Pending	41	Pending
2	n/a	35	Future Development
3	n/a	35	Future Development
4	n/a	42	Future Development

Staff Review: *The following summary does not constitute recommendations but merely conclusions and suggestions from staff.*

Planning and Zoning Staff:

Staff has reviewed the proposed Final Development Plan and has included a list of comments for revision to this staff report. The majority of these comments are minor revisions, including but not limited to adding information from the construction and preliminary plans, formatting, and clarifying already present information.

City Engineer (Full comments attached)

1. Lot 41 appears too close to the adjacent curve in the street to the west. At a minimum, restrict the driveway for this lot to be to the east side of the lot.
2. Suggest ADA ramps be installed at all corners of the proposed intersections.
3. ROW needs dedicated per an approved set of Refugee Road turn lane improvements. The plans need to be reviewed by the City and the County Engineer. Plans should consider a pedestrian pathway along the frontage of the development.
4. Verify the adequacy of the storm sewer outfall for the proposed ponds. Explain how far downstream the capacity of the roadside ditch was analyzed.

Public Service Department (Full comments attached)

- Comments relating to City Engineer's above:
 - #3 – assumed ROW dedication will be addressed with Refugee Road Turn Lane Plans (awaiting submittal), pathway is shown on plans.
 - #4 – Addressed with approved Construction Plans.
 - Comments #1 and #2 are valid.

Other Departments or Agencies

No other comments received.

Surrounding Area:

Direction	Zoning	Land Use
North	PDD – Planned Development District	Future Residential Development (Hazelton Crossing)
East	R-15 – Residential (Harrison Twp.)	Single-Family Homes
South	PUD – Planned Unit Development (Etna Twp.) AG – Agriculture (Etna Twp.)	Single-Family Homes (Cameron Chase)
West	PDD – Planned Development District	Future Commercial Development (Hazelton Crossing)

Final Development Plan Approval:

According to Section 1255.20 of the Pataskala Code, the Planning and Zoning Commission shall consider approval of a final development plan if the proposal:

- a. The Final Development Plan conforms in all pertinent respects to the approved Preliminary Development Plan, provided that the Planning and Zoning Commission may authorize plans amended as specified in Section 1255.14.
- b. That the proposed development advances the general health and safety of the City of Pataskala.
- c. That the Planning and Zoning Commission is satisfied that the developer has provided sufficient guarantees or demonstrates possession of the requisite financial resources to complete the project.
- d. That the interior road system, proposed parking, and any off-site improvements are suitable, safe, and adequate to carry anticipated vehicular and pedestrian traffic generated by and within the proposed development and to adjacent property.
- e. The development has adequate public services and open spaces.
- f. The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with any applicable regulations.
- g. The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity.
- h. Signs, as shown on the submitted sign plan, will be of a coordinated effect throughout the planned district, and with adjacent development; are of appropriate size, scale, design, and relationship with principal buildings the site and surroundings, so as to maintain safe and orderly pedestrian and vehicular circulation.
- i. The landscape plan adequately enhances the principal buildings and site; maintains existing trees to the extent possible; buffers adjacent incompatible uses; breaks up large expanses of pavement with natural materials; and utilizes appropriate plant selections of the buildings, site and climate.
- j. That the existing and proposed utilities, including water and sewer service, and drainage will be adequate for the population densities and nonresidential uses proposed in the Planned Development District and complies with applicable regulations established by the City or any other governmental entity which may have jurisdiction over such matters.

- k. Phases of projects are planned so that these conditions are complied with to meet the needs of that phase upon its completion.
- l. That any other items shown in the final development plan or in the accompanying text be addressed to the Planning and Zoning Commission's satisfaction.

Department and Agency Review

- Zoning Inspector – No comments.
- City Engineer – See attached.
- Public Service – See attached.
- SWLCWSD – No comments.
- Police Department – No Comments.
- West Licking Joint Fire District – No comments.
- Southwest Licking School District – No Comments.

Modifications:

Should the Planning and Zoning Commission choose to approve the applicant's request, the following modifications may be considered:

1. The Applicant shall address all comments from the Public Service Department, City Engineer, and Planning and Zoning Staff.
2. After all comments and questions have been addressed the Applicant shall submit a mylar copy of the revised Final Development Plan to the Planning and Zoning Department for signatures and records.

Resolution:

For your convenience, the following resolution may be considered by the Planning and Zoning Commission when making a motion:

"I move to approve Application number FP-24-001 pursuant to Section 1225.20 of the Pataskala Code. ("with the following modifications" if modifications are to be placed on the approval)."



CITY OF PATASKALA PLANNING & ZONING DEPARTMENT

621 West Broad Street, Suite 2A
Pataskala, Ohio 43062

Hazelton Crossing Phase 1 – Final Plan Review

March 6, 2023

General Comments

- Recommend including a “Site layout” page showing layout of the phase, with dimensions of all lots, site data tables, and other information relating to zoning compliance (see page 2/6 of example Final Development Plan sent earlier).
- Remove Model Home details/floor plans/additional landscaping required beyond Code from the actual Final Plan and include it as additional documentation under Tab 5 in your submittal – doesn’t need to be in the mylars.
- Minimum setbacks for 62’x120’ lots are incorrectly given as 5’, approved Development Text states minimum of 6’ required.
- Include the following information from the approved Development Text on the plans:
 - Dwelling size and distribution.
 - Required trash areas.
 - Maximum building height.

Section 1113.23 – Final Development Plan Contents

- 1113.23(j): include typical cross sections of proposed streets widths.
- 1113.23(l): show building setback lines on lots.
- 1113.23(p): indicate widths of sidewalks/paths.

Section 1255.18 – Final Development Plan Contents (Planned Development Districts)

- 1255.18(g)(2): Include a note relating to the monuments, and indicate, in general, where they will be placed when it comes time to do the plat.
- 1255.18(g)(4): Indicate dimensions of all lot lines and easements.
- 1255.18(g)(5): Provide radii, arcs, points of tangency, central angles for all curvilinear streets, and radii for all rounded corners.
- 1255.18(g)(9): Provide dimensions of reserve areas, Reserve names (“A”, “B”, etc.), and include a note referencing their ownership, maintenance, etc.
- 1255.18(g)(10): Show acreage in R/W on Site Data table, show acreage of each lot either on lots themselves or in a separate data table.
- 1255.18(g)(11): Include a note on the plans stating “Detailed engineering plans approved per Construction Plans Application CON-21-008”
- 1255.18(g)(15): What scale are the contours shown at?
- 1255.16(g)(26): In a separate document, provide a list of changes that have taken place from the Preliminary Plan.

From: [Antonio Anzalone](#)
To: [Jack Kuntzman](#)
Cc: [Alan Haines](#)
Subject: RE: Pataskala PZC Review Memo for 03-06-2024
Date: Tuesday, February 27, 2024 11:06:55 AM

Jack,

It's assumed comment #3 will be addressed with the Refugee Road Turn Lane plans (whenever they get submitted for review), except for the part that calls for a pedestrian pathway along the frontage. The pathway is already shown on the plans so we can get rid of that sentence (highlighted below).

Comment #4 can also be ignored as it addressed with the Construction Plans.

Comments 1-2 can remain.

Thank you,

Antonio Anzalone

Assistant City Engineer
City of Pataskala
621 W. Broad Street, Suite 2B
Pataskala, Ohio 43062
Office: 740.927.3873
Cell: 740.652.0685
Email: aanzalone@ci.pataskala.oh.us

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Tuesday, February 27, 2024 10:53 AM
To: Antonio Anzalone <aanzalone@ci.pataskala.oh.us>
Cc: Alan Haines <ahaines@ci.pataskala.oh.us>
Subject: RE: Pataskala PZC Review Memo for 03-06-2024

Tony, based on the Engineer's comments could you double check a few things on FP-24-001?

Their comments were:

1. Lot 41 appears too close to the adjacent curve in the street to the west. At a minimum, restrict the driveway for this lot to be to the east side of the lot.
2. Suggest ADA ramps be installed at all corners of the proposed intersections.
3. ROW needs dedicated per an approved set of Refugee Road turn lane improvements. The plans need to be reviewed by the City and the County Engineer. Plans should consider a pedestrian pathway along the frontage of the development.
4. Verify the adequacy of the storm sewer outfall for the proposed ponds. Explain how far downstream the capacity of the roadside ditch was analyzed.

Were any of these addressed with the Construction Plans?

From: [Lenhart, Tony](#)
To: [Jack Kuntzman](#); [Felix Dellibovi](#); [Bruce Brooks](#); [Doug White](#); [Kevin Miller](#); [laitken@lhschools.org](#); [kperkins@laca.org](#); "Chris Gilcher"; [Alan Haines](#); [Antonio Anzalone](#); [Chris Sharrock](#)
Cc: [Lisa Paxton](#); [Scott Fulton](#); [Weber, Matt](#)
Subject: RE: Pataskala PZC Review Memo for 03-06-2024
Date: Sunday, February 25, 2024 4:41:49 PM

CAUTION: This email message came from an external (non-city) email account. Do not click on any links within the message or attachments to the message unless you recognize the sender's email account and trust the content.

Good Afternoon,

American Structurepoint offers the following comments:

ZON-24-001 (and companion cases):

1. Consider a ROW dedication along Broad Street to accommodate future transportation improvements.
2. Consider reserving space for a future pedestrian pathway along the frontage of the property.
3. If site improvements are done on this property, some detention/water quality measures will need to be incorporated.

REP-24-002: No comments

ZON-24-003: No comments

FP-24-001:

1. Lot 41 appears too close to the adjacent curve in the street to the west. At a minimum, restrict the driveway for this lot to be to the east side of the lot.
2. Suggest ADA ramps be installed at all corners of the proposed intersections.
3. ROW needs dedicated per an approved set of Refugee Road turn lane improvements. The plans need to be reviewed by the City and the County Engineer. Plans should consider a pedestrian pathway along the frontage of the development.
4. Verify the adequacy of the storm sewer outfall for the proposed ponds. Explain how far downstream the capacity of the roadside ditch was analyzed.

PM-24-001

1. Confirm that ROW limits at the south end of the site accommodate the planned intersection improvement at Etna Parkway and Refugee Road.
2. The area reserved for retention ponds might be too small compared to the amount of impervious area being added to the site.
3. Suggest a pedestrian pathway along the frontage of the property. Even if it's not connected it will provide some area for employees to walk.
4. Proposed turn lane geometry needs to be confirmed by a traffic impact study.

5. Analyze the existing field tile mapping early in the site design process to ensure any major tiles that will be disrupted will be accommodated by the proposed storm sewer system.

Thanks,
Tony

Anthony J. Lenhart, PE
Team Leader - Ohio Transportation
AMERICAN STRUCTUREPOINT, INC.

From: Jack Kuntzman <jkuntzman@ci.pataskala.oh.us>
Sent: Wednesday, February 14, 2024 2:39 PM
To: Felix Dellibovi <fdellibovi@ci.pataskala.oh.us>; Lenhart, Tony <TLenhart@structurepoint.com>; Bruce Brooks <bbrooks@pataskalapolice.net>; Doug White <DWhite@westlickingfire.org>; Kevin Miller <kevin.miller@lhschools.org>; laitken@lhschools.org; kperkins@laca.org; 'Chris Gilcher' <cgilcher@swlcws.com>; Alan Haines <ahaines@ci.pataskala.oh.us>; Antonio Anzalone <aanzalone@ci.pataskala.oh.us>; Chris Sharrock <csharrock@ci.pataskala.oh.us>
Cc: Lisa Paxton <lpaxton@ci.pataskala.oh.us>; Scott Fulton <sfulton@ci.pataskala.oh.us>
Subject: Pataskala PZC Review Memo for 03-06-2024

EXTERNAL EMAIL: Do not click any links or open any attachments unless you trust the sender and know the content is safe!

Good Afternoon Everyone,

You are receiving this email because one or more of the Application(s) submitted for the **March 6, 2024**, Planning and Zoning Commission are within your jurisdiction. Please see the list below for which Applications are being submitted for your review.

OLD BUSINESS

ZON-24-001*: Felix Dellibovi, American StructurePoint, Bruce Brooks, Doug White, Kevin Miller, S.W.L.C.W.S.D., Public Service Department
*Application was updated to include adjacent 0.01-acre parcel.

REP-24-001*: Felix Dellibovi, American StructurePoint, Bruce Brooks, Doug White, Kevin Miller, S.W.L.C.W.S.D., Public Service Department



CITY OF PATASKALA PLANNING AND ZONING COMMISSION

City Hall, Council Chambers
621 West Broad Street
Pataskala, Ohio 43062

FINAL PLAN APPLICATION

(Pataskala Codified Ordinances Chapter 1113)

Property Information	
Address: REFUGEE ROAD SW	
Parcel Number: 064-152964-00.004	
Zoning: PDD	Acres: 14.1
Water Supply:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input type="checkbox"/> On Site
Wastewater Treatment:	
<input type="checkbox"/> City of Pataskala	<input checked="" type="checkbox"/> South West Licking <input type="checkbox"/> On Site

Applicant Information		
Name: ROCKFORD HOMES C/O JIM LIPNOS		
Address: 999 POLARIS PARKWAY, SUITE 200		
City: COLUMBUS	State: OH	Zip: 43240
Phone: (614) 785-0015	Email: jlipnos@rockfordhomes.net	

Owner Information		
Name: ROCKFORD HOMES C/O JIM LIPNOS		
Address: 999 POLARIS PARKWAY, SUITE 200		
City: COLUMBUS	State: OH	Zip: 43240
Phone: (614) 785-0015	Email: jlipnos@rockfordhomes.net	

Final Plan Information
Describe the Project: THIS FINAL DEVELOPMENT PLAN IS FOR THE FIRST PHASE OF THE SINGLE-FAMILY RESIDENTIAL SUBAREA 'D' OF THE HAZELTON-CROSSING DEVELOPMENT LOCATED AT THE NORTHEAST CORNER OF HAZELTON-ETNA ROAD AND REFUGEE ROAD SW. PHASE 1 OF SUBAREA 'D' WILL COMPRISE 41 SINGLE-FAMILY LOTS, VARIOUS OPEN SPACE RESERVES, UTILITY AND ROADWAY IMPROVEMENTS, AND OFF-SITE STORMWATER IMPROVEMENTS THAT SERVE BOTH SUBAREA 'D' AND FUTURE SUBAREA 'A'. A FINAL DEVELOPMENT PLAN FOR SUBAREA 'A' WILL SUBMITTED IN A FUTURE APPLICATION. THE TOTAL ACREAGE OF SUBAREA 'D' IMPROVEMENTS WILL BE ±14.1 ACRES FOR A RESIDENTIAL DENSITY OF ±2.9 D.U./AC.

Staff Use
Application Number: FP-24-001
Fee: 1000-
Filing Date: 2-9-24
Hearing Date: 3-6-24

Documents
<input type="checkbox"/> Application
<input type="checkbox"/> Fee
<input type="checkbox"/> Final Plan
<input type="checkbox"/> Deed
<input type="checkbox"/> Address List
<input type="checkbox"/> Area Map

Receipt 001479

Documents to Submit

Final Plan Application: Submit 14 copies of the final plan application.

Final Plan: Submit 14 copies of the final plan on sheets 24 x 36 inches in size containing the following:

- a) *Proposed name of the subdivision, location by section, range, township or other officially recognized survey number, date, north arrow, scale and acreage.*
- b) *Name and address of the owner and subdivider, State of Ohio registered professional engineer, and/or surveyor who prepared the plan, and their appropriate registration numbers and seals.*
- c) *Plan boundaries, based on accurate traverse, with angular and lineal dimensions. All dimensions, both linear and angular shall be determined by an accurate control survey in the field which must balance close, within the limit of one (1) in 10,000.*
- d) *Bearing and distances to nearest established street lines, or other recorded permanent monuments.*
- e) *Exact locations, right-of-way, names of all streets within and adjoining the plat, and the building setback lines.*
- f) *Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths of bearings and chords of all applicable streets within the plat area.*
- g) *All easements and right-of-way provided for public or private services and/or utilities.*
- h) *All lot numbers and lines with accurate dimensions in feet and hundredths. When lots are located on a curve, the lot width at the building setback line shall be shown.*
- i) *Accurate location and description of all monuments.*
- j) *Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for the common use of all property owners. The use and accurate boundary locations shall be shown for each parcel of land to be dedicated.*
- k) *A copy of any restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision.*
- l) *Certification by a State of Ohio registered surveyor to the effect that the plan represents a survey made by him, that the monuments shown thereon exist as located, and that all dimensional details are correct.*
- m) *Typical sections and complete profiles of streets and other related improvements to be constructed in the proposed subdivision.*
- n) *The location of, and a description of all monuments and pins as specified in Section 1121.04.*
- o) *If a zoning change is involved, certification from the City Zoning Inspector shall be required indicating that the change has been approved and is in effect.*
- p) *Certification shall be required showing that all required improvements have been installed and approved by the proper City officials and/or other agencies, or the required bond or other surety is in effect assuring installation and initial one (1) year minimum maintenance of the required improvements (Section 1113.18(d)).*

Deed: Provide a copy of the deed for the property with any deed restrictions. Deeds can be obtained at www.lcounty.com/rec.

Address List: Submit one copy of a list of all property owners and addresses of those owning property within 200 feet or two parcels from any point on the subject property line, whichever creates more property owners. This list must be in accordance with the Licking County Auditor's current tax list and must be submitted on mailing labels.

Area Map: Submit 14 copies of an area map from the Licking County Engineer's office showing the area encompassed by the address list. Area maps can be obtained at www.lcounty.com/taxparcelviewer/default.

Signatures

I certify the facts, statements and information provided on and attached to this application are true and correct to the best of my knowledge. Also, I authorize City of Pataskala staff to conduct site visits and photograph the property as necessary as it pertains to this final plan request.

Applicant:



Date:

2-5-24

Owner:



Date:

2-5-24

Final Development Plan for Subarea 'D', Phase 1

Planned Development District (PDD)

Hazelton Crossing City of Pataskala, Ohio

Submitted By:

Rockford Homes

Jim Lipnos
999 Polaris Parkway, Suite 200
Columbus, Ohio 43240
Phone: 614.785.0015
Email: jlipnos@rockfordhomes.net

Date of Submittal:
February 09, 2024

Prepared By:



5500 New Albany Road
Columbus, Ohio 43054
Ph: 614.775.4443
kshreves@emht.com



720 E. Broad Street
Columbus, Ohio 43215
Ph: 614.583.9230
gsmith@g2planning.com

PRELIMINARY PLAN APPLICATION

- Application

Tab 1 – Planned Residential Development Text

EXHIBITS

Tab 2 – Legal Description

Tab 3 – List of Adjacent Property Owners

Tab 4 – Final Development Plan Exhibits

- Title Sheet
- Exhibit 'A' - Site Regional Context Plan
- Exhibit 'B1' - Site Survey
- Exhibit 'B2' – Existing Conditions Plan/Vicinity Map
- Exhibit 'C' - Site Illustrative Plan
- Exhibit 'C1' - Final Development Plan
- Exhibit 'C2' – Model Home Package
- Exhibit 'C3' – Utility Plan
- Exhibit 'E' – Open Space / Sidewalk Plan
- Exhibit 'L1.00' – Sub-Area 'D' Phase 1 Site Landscape Plan
- Exhibit 'L1.01' – Landscape Plan Enlargements
- Exhibit 'L2.00' – Landscape Details I
- Exhibit 'L2.01' – Landscape Details II
- Exhibit 'L3.00' – Existing Tree Survey Plan and Index

Tab 5 – Architectural Exhibits

- Exhibits 'O-1' through 'O-6' – SUB AREA 'D' Single-Family Conceptual Architecture

Tab 6 – Legal Instruments

- Draft Deed of Restrictions and HOA Covenants

Tab 7 – Supporting Documents

- Exhibit 'P-1' – Summary of Environmental Site Assessment
- Exhibit 'P-2' – Phase 1 Environmental Site Assessment
- Exhibit 'Q-2' – Traffic Impact Study

Tab 8 – Serviceability Letters

- Exhibit 'S' – Southwest Licking Local School District Letter and email correspondence
- Exhibit 'T' – Southwest Licking Community Water & Sewer District email correspondence
- Exhibit 'U' – Post-Development Peak Discharge rate calculation method approval email
- Exhibit 'V' – EMH&T email summarizing storm sewer layout understanding reached with Alan Haines
- Exhibit 'W' – Isaac Wiles email outlining proposed terms of settlement
- Exhibit 'X' – Southwest Licking Community Water & Sewer District email of conditional approval

TAB 1
PRELIMINARY DEVELOPMENT
PLAN TEXT

Hazelton Crossing Preliminary Development Plan Text Planned Residential Development

A. Completed application form and application fee.

The completed and signed application form is included as a separate document.

B. A vicinity map showing the relationship of the proposed Planned District to existing development and including existing; property lines, easements, utilities, and street rights-of-way of the subject property and property within 200 feet of the site, zoning district boundaries, and existing land uses and structures.

The Site Regional Context Plan, included as Exhibit A, and the Site Survey/Existing Conditions, included as Exhibits B-1 and B-2, will provide the information required for the vicinity map.

C. A regional context map; indicating the proposed site and all areas within 2,000 feet in all directions; showing the basics of the proposed layout of the proposed project and property lines of the adjacent areas on a drawing of 11 inches X 17 inches in size.

The Site Regional Context Map is included as Exhibit A.

D. A legal description of the property including County Auditor parcel numbers.

The Site Survey and legal description is included as Exhibit B-1.

E. A map of existing conditions and features drawn to scale, with accurate boundaries of the entire project and north arrow, including:

- 1. Boundaries of the area proposed for development, dimensions and total acreage;**
- 2. Existing public rights-of-way, buildings, permanent facilities, access points and easements on, and adjacent to the site;**
- 3. Identification of any existing buildings or structures to be removed or demolished;**
- 4. Existing zoning district boundaries and jurisdictional boundaries;**
- 5. Existing utility systems and providers;**
- 6. The location of existing topography showing contour lines at vertical intervals of not more than 5 feet, highlighting ridges, rock outcroppings and other significant topographical features and identifying any areas with slopes over 5%;**
- 7. Locations of all wooded areas, tree lines, hedgerows, and a description of significant existing vegetation by type of species, health and quality.**

8. Existing drainage patterns on the property including connections with farm tiles on adjacent properties,
9. Locations of wetlands and potential wetlands, the 100 year floodplain, floodway boundary, 20 foot buffer beyond the floodway, and flood elevation as provided by the most recent Federal Emergency Management Agency mapping, including rivers and streams and their related river or stream bank, pond, and water courses,

The information requested above will be found on Site Survey/Existing Conditions, included as Exhibits B-1 and B-2.

- F. The Preliminary Development Plan map shall include a plan for the entire area of the proposed Planned District Project and shall be drawn to an appropriate scale with accurate boundaries of the entire project including a north arrow. The applicant shall also provide 13 copies or the number determined necessary by the Director of Planning. The Preliminary Development Plan portion of the application shall include:**

1. The proposed location, use and size of sub-areas of residential, retail, office, industrial uses, community facilities, parks, playgrounds, school sites and other public areas and open spaces with the suggested ownership and maintenance provisions of such areas, and their related parking areas and access points.

The Zoning Sub-Area Plan is included as Exhibit C and the Preliminary Development Plan is included as Exhibit D-1. The ownership and maintenance of all open space areas shall fall to the owners of each individual sub-area. Open space within the single-family sub area 'D', and condo sub area 'C' shall be owned and maintained by separate homeowner associations for each development. Open spaces within the commercial sub area 'A' and assisted living sub area 'B' shall be owned and maintained by each commercial entity.

2. The general layout of the proposed internal road system, indicating the proposed vehicular right of way of all proposed public streets, general indication of private streets and pedestrian circulation, bike paths and other trail systems, access drive locations, improvements to existing streets, and traffic control requirements.

The Preliminary Development Plan depicts the various transportation choices on the included Exhibit D and the proposed pedestrian circulation on Exhibit E- Open Space/ Sidewalk Plan.

3. Any proposed off-site improvements and/or utility lines/extensions needed to serve the site;

The Proposed Utility Plan shows the utility layout for off-site and within the development on included Exhibit I.

4. Environmental plan showing natural features and preservation zones

The Summary of the Phase I Environmental Assessment from Jobes Henderson & Associates dated February 5, 2016 is included as Exhibit P-1, An environmental site assessment is included as Exhibit P-2, and the site survey and existing conditions plan are included as exhibit B-1 and B-2. There are no natural features that require preservation.

5. Natural areas and other natural, historic or significant features to be conserved and any required buffer areas;

There are no significant features to be conserved.

6. Natural features to be altered or impacted by the development and areas where new landscaping will be installed, etc.

There are no natural features that will be impacted by the development other than grading activity as shown on the Proposed Grading Plan included as Exhibit J.

7. A summary table showing total acres of the proposed development; the number of acres devoted to each type of land use, including streets and common areas; the number of dwelling units by type and density for each residential use area and the building height(s) and square footage as proposed for retail, office, industrial and institutional uses, by use area; and the number of parking spaces provided for each use area; Estimated total population, size, employment or other measurements of the scale of the project at each phase and at buildout;

The summary tables are presented on the Preliminary Development Plan included as Exhibit D-1.

8. The provision of water, sanitary sewer;

The provisions for water and sanitary sewer are shown on the Proposed Utility Plan included as Exhibit I.

9. The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas;

The start of site development for ALL Subareas will be based upon market conditions.

10. Proposed buffers between incompatible land uses and activities;

The proposed buffers and landscape screening are shown on the Landscape and Buffer Plan included as Exhibit G and the Landscape Enlargements Plan included as Exhibit H-2.

11. Included with the site plan shall be the proposed location and proposed character of all signs for the entire development (sign master plans are encouraged);

The Preliminary Signage locations are included on the Preliminary Development Plan, Exhibit D. Conceptual sign details are shown on exhibit H-3. The Preliminary Signage Standards are as follows:

HAZELTON CROSSING RETAIL SIGN CRITERIA

Shopping Center Identification Sign:

1. *Developer shall be permitted to have (2) Shopping Center Identification Signs listing the name of the shopping center and names of select tenants. The Primary Shopping Center Identification Sign will have a maximum of eight (8) tenants listed on the sign. The Secondary Shopping Center Identification Sign will have a maximum of four (4) tenants listed on the sign.*
2. *The Primary Shopping Center Identification sign shall not exceed (25) feet in height. The Secondary Shopping Center Identification Sign shall not exceed (20) feet in height.*
1. *All monument signs shall be placed in a landscape area and shall be located a minimum of 10' from the edge of the R.O.W of the road on which it fronts.*
3. *Tenant panels on the shopping center Identification signs shall be internally illuminated.*

Outparcel Ground Signs:

2. *Each outparcel shall be allowed one (1) monument sign per right-of-way frontage.*
3. *Monument sign shall have a maximum height of (7) feet and a maximum width of ten (10) feet. The graphic area shall not exceed fifty (50) square feet per sign face.*
4. *All monument signs are to be constructed with a masonry base that is consistent with the materials used in the main retail center.*
5. *All monument signs shall be placed in a landscape area and shall be located a minimum of 10' from the edge of the R.O.W of the road on which it fronts.*
6. *Each outparcel may provide appropriate directional signage at ingress/egress access points. On site permanent directional signs, e.g. employee and visitor parking, deliveries, etc. will be of a common design, material and size. Maximum height of directional signage shall be four (4) feet and the maximum copy area type face shall be four (4) square feet.*
7. *Monument signs shall be internally illuminated.*

Retail Center Tenant Signage - Anchor Store:

1. *All wall mounted signage may be internally illuminated. Signs shall be mounted with non-corrosive hardware and all points of penetration will be caulked and sealed.*
2. *Graphic area: The maximum sign area of an anchor store tenant shall be three (3) square feet of wall sign for each one (1) linear foot of wall to which the signage is to be mounted. Total graphics area*

- shall not exceed four hundred (400) square feet per facade.
3. Sign drawings in color must be submitted to and approved by Landlord prior to manufacture of signage. Minimum drawings submitted shall include:
 - a. Scale elevation drawing of sign superimposed on building elevation, including width and height of signage.
 - b. Section through typical signage indicating all sign and wiring components, materials, colors and finishes.
 - c. Sign control specifications.
 4. Installation specifications, including requirements outlined in this criteria. Upon vacating the center, the tenant shall remove their signage and seal all openings and restore the fascia to its original condition finish and color.

Retail Center Tenant Signage - In-line Retail:

1. Use of individually mounted letters or raceway mounted letters shall be limited to the fronts, or with endcap tenants, front and side of stores relative to each tenant's space. In all instances the message letters and/or its raceway shall be mounted to the building face. Signs shall be mounted with non-corrosive hardware and all points of penetration will be caulked and sealed.
2. All tenant signage shall be internally illuminated. Sign Illumination shall be LED (preferred) or neon tubing properly spaced for even illumination. Neon transformers shall not exceed 12,000 A.
3. Signs cannot exceed eighty percent (80%) of width of storefront of Leased Premises. The maximum sign area allowed shall not exceed two (2) square feet of sign area for each lineal footage of store frontage.
4. Sign faces shall be 1/8" to 3/16" thick Plexiglas of any color that provides good contrast illumination to the store front.
5. Sign drawings in color must be submitted to and approved by Landlord prior to manufacture and installation. Minimum drawings submitted shall include:
 - a. Scale elevation drawing of sign superimposed on building elevation, including width and height of letters.
 - b. Section through typical letter indicating all sign and wiring components, materials, colors and finishes.
 - c. Size, numbers of rows and color of neon.
 - d. Transformer size and location.
 - e. Sign control specifications.
 - f. Installation specifications, including requirements outlined in this criteria.
6. Upon vacating the center, the tenant shall remove their sign or raceway and seal all openings and restore the fascia to its original condition finish and color.
7. Tenant raceway color to match building finish.
8. All signs, including installation, will comply with all local building zoning and electrical codes and will bear the UL Label. Prior to installation, Tenant must first obtain all appropriate governmental licenses and permits.

Outparcel Building Signs:

1. *All wall mounted signage may be internally illuminated. Signs shall be mounted with non-corrosive hardware and all points of penetration will be caulked and sealed.*
2. *The horizontal width of each tenant's copy shall be a maximum of (80%) of the width of the wall on which is located.*
3. *Outparcel buildings shall be permitted the (3) on-premise wall signs. No graphic area shall be larger than 100 square feet per sign. The total aggregate graphic area for all such wall signs shall not exceed two hundred (200) square feet per building.*
4. *Sign faces shall be 1/8" to 3/16" thick Plexiglas of any color that provides good contrast illuminations to the store front.*
5. *All signs, including installation, will comply with all local building zoning and electrical codes and will bear the UL Label. Prior to installation, Tenant must first obtain all appropriate governmental licenses and permits.*

HAZELTON CROSSING SUB AREA SIGN CRITERIA

Sub-Area Entry Signs:

1. *Sub-Areas 'B', 'C', and 'D' shall be allowed one (1) entry monument sign to be installed at each entry along the right-of-way frontage.*
 2. *Monument sign shall have a maximum height of (7) feet, and a maximum length of nine (9) feet. The graphic area shall not exceed fifty (50) square feet per sign face.*
 3. *All sub-area entry signs are to be constructed with a masonry base that is consistent with the materials used for signage throughout the rest of the project.*
 4. *All monument signs shall be placed in a landscape area and shall be located a minimum of 10' from the edge of the R.O.W of the road on which it fronts.*
 5. *Entry monument signs shall either be externally illuminated through the use of ground mounted low voltage lighting, or through the use of backlighting of individual sign letters.*
- 12. A letter of communication from the appropriate school district regarding any residential development included in the Planned Development District;**
- Correspondence from Southwest Licking School District Has been included as Exhibit S.*
- 13. Space for signatures of the applicant and the Chair of the Planning and Zoning Commission, and for the dates of Planning and Zoning**

Commission and City Council approvals;

The signatures for the applicant, Chair of the Planning and Zoning Commission and the City Council are included on the cover of this submittal document, and on the title sheet.

G. Development Standards Text; a development standards text document including the special requirements that will govern the design and layout of the proposed Planned District, including:

- 1. Architectural guidelines for each subarea, or phase; Architectural drawings demonstrating the prototypical design of the proposed buildings, to demonstrate the exterior design, character and general elements in sufficient detail to indicate the proposed visual character of the development**

The architectural guidelines are as follows:

SUBAREA 'A' –RETAIL/COMMERCIAL

GENERAL AND SITE REQUIREMENTS

Maximum Building Height

Where buildings are located adjacent to the approved side and rear yard setback lines, the maximum building height for the main retail buildings shall be 35' as measured from the ground to the peak of any roof or parapet wall. For large retail tenants (over 30,000 square feet), the maximum height of 35 feet may be exceeded for architectural features if, for each foot of building height over 35 feet, the distance between such buildings and the side and rear property lines is increased by a one foot addition to the required side and rear yard. In any case the maximum height of such features shall be 45 feet. Retail outparcel buildings shall have a maximum height of 30 feet as measured from the base of the building to the peak of the roof.

Bulk Requirements

All structures shall have a minimum of 600 square feet per building unit and not be less than 24 feet in width or depth.

Required Trash Areas

All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. Container systems shall not be located in front yards. Container systems enclosures shall be 100 percent opaque, enclosing all four sides with a gate on one side and shall be constructed of materials harmonious with the design of the main building on the lot which it serves.

Prohibited enclosure materials

Chain link fence

Concrete block

Loading Areas

Loading areas shall be screened from adjacent unlike uses and shall not be located at the front of buildings. Loading areas shall not face Hazelton-Etna Road or Refugee Road.

Landscaping and Screening

See Preliminary Landscape and Buffer Plan Exhibit G. All trees identified on the survey.

Site Improvements

An 8' public leisure path, constructed of asphalt, shall be installed along the frontage of Hazelton-Etna Road and Refugee Road and may be located within the Right-of-Way (ROW) of both roads. The public leisure path shall not encroach more than 12 feet into the ROW.

ARCHITECTURAL GUIDELINES

Building Orientation

Buildings shall be sited orthogonally to the street; angled buildings are discouraged. Where possible, outparcel buildings shall be sited adjacent to the minimum setback of Hazelton-Etna Road and Refugee Road. If the main entry to the outparcel buildings cannot be oriented toward the main road then such buildings shall be designed so that the façade facing Hazelton-Etna Road or Refugee Road shall have the same level of detailing and materials as the façade having the main entry. Outparcels shall not be designed to have head in parking adjacent to Hazelton-Etna Road Frontage, and no parking shall be installed closer to the Right-of-Way of Hazelton-Etna Road than the main façade.

Outparcels with drive-thru operations may be permitted to circulate around the building provided that no parking is installed adjacent to the Hazelton-Etna Road Right-of-Way. All service or loading areas shall be screened from Hazelton-Etna Road and Refugee Road. Mechanical systems shall be screened from streets.

Walls

Acceptable Materials

Wood clapboard, finished with paint or stain
Cedar shingles, finished with paint or stain

Fiber-cement (Hardiplank" or equal) lap siding,
finished with paint or stain

Brick, minimal color variation, traditional colors

Exterior Insulation and Finishing Systems (EIFS)

Decorative block

Natural stone, Cultured Stone, or equal
Stucco

Prohibited Materials

Aluminum siding

Vinyl siding

Methods and Configuration

- Wall materials must be appropriate for architectural style. Generally, siding shall be horizontal with no greater than a 7.5" lap. Multiple wall cladding materials are discouraged unless typical of the architectural style. Where brick, stone, or stucco is used on the front of a building it must wrap the side by a minimum of 4' or stop at an acceptable break line, and on a corner lot must be used on the entire street sides. Where stucco type materials are used, they shall have a background color and a complementary trim color to include banding and windows. Stucco shall have full trim detailing, raised a minimum of 1" from the background.
- On outparcels, equivalent design treatment shall be given to all facades of each building. "Four-sided" architecture is encouraged.
- The building(s) that are part of the primary retail space shall have equivalent architectural treatment given to any facades that are exposed to public streets. The rear facades of the buildings shall be composed of decorative concrete block, color banding, or other articulation and coloring to provide for a finished appearance. The paint and/or color scheme shall be continued from the front of the building to the rear of the building.

Foundations & Piers

Acceptable Materials

Poured concrete

Brick

Natural stone, Cultured Stone, or equal

Prohibited Materials

Exposed concrete block

Methods & Configuration

Exposed foundations must be painted or covered by brick, stone or stucco on all sides of the building. In-form stamped and stained concrete, and other simulated brick and stone applications may also be acceptable with developer approval of a sample or photograph.

Roofs

Acceptable Materials

30 year or better dimensional asphalt or fiberglass shingles

Standing seam and batten seam metal
Copper
Slate or approved synthetic slate
Membrane or built-up (for flat roof)

Prohibited Materials

Corrugated metal

Methods and Configuration

Roof pitch shall be appropriate with style, generally 6:12 to 12:12. Porch roofs may be a minimum of 3:12. Multiple roof styles and shapes are discouraged on a single building unless typical of the style (for instance, Victorian). Flat roofs are permitted under upper level decks and porches or if hidden by a facade. The facade requirement may be waived at the rear of the building. See Chimneys, Chases and Vents for details on equipment screening.

Cornice

Acceptable Materials

Wood, painted or stained
Decorative metal,
Fiber-cement (HardiSoffit, HardiPanel) or other approved synthetic products
EIFS

Methods and Configuration

Eaves shall be appropriate for building style. Open, exposed rafters are acceptable, as are sloped soffits. Decorative cornice work and facades covering flat roof may include fiberglass and preformed materials, i.e., plaster elements.

Porches & Balconies

Acceptable Materials

Columns:

Wood, painted or stained
Fiberglass, painted
Brick
Smooth or sand textured stucco

Balustrades:

Metal
Wood, painted or stained
Vinyl, if components match wood in style, dimensions, and detailing.

Porch Floors:

Wood, painted or stained
Stained concrete

Tile
Brick pavers
Synthetic material (at balconies only, above dry areas)
Porch Ceilings:
Wood, painted or stained Stucco
Exposed rafters, painted or stained
Vinyl
Aluminum

Methods and Configuration

Porch columns shall be at least 6" in diameter. Balustrades shall have top and bottom rails with eased edges, centered on balusters.

Windows

Acceptable Materials

Frame & Sash:

Wood
Aluminum

Glazing:

Clear glass
Beveled or stained
Lightly tinted

Prohibited Materials

Vinyl
Highly reflective glazing

Methods and Configuration

Windows shall be vertically proportioned. Mullions are encouraged. Shutters may be used.

Doors

Acceptable Materials

Glass with aluminum frames
Solid wood with glazing and/or panels, painted or stained
Fiberglass with glazing and/or panels, painted.
Insulated metal with glazing and/or panels, painted.
Other commercial assemblies with approval of the developer

Chimneys, Chases, Roof and Wall Vents

Acceptable Chimney and Chase Materials

Stucco with cap or coping
Brick

Natural stone, Cultured Stone, or equal
Siding, only with specific approval of the developer

Methods and Configuration

Chimneys and chases on street sides must be compatible with the building architecture, and truncation below the roof lines is strongly discouraged. Wall vents shall be finished in a color compatible with the surrounding material. At gable roofs, ridge vents are encouraged. Every effort shall be made to screen mechanical equipment from streets, parking and alleys.

Sidewalks

Acceptable Materials

Concrete, plain, colored, stamped or exposed aggregate
Concrete or brick pavers

Prohibited Materials

Gravel

Colors

All exterior finishes shall be carefully reviewed to ensure compatibility with surrounding buildings. Muted colors are encouraged, and excessively bright or harsh colors are not permitted. A trim color that differs from the siding color is encouraged.

Signage

Free-standing signs are to conform to a master signage plan, which shall be submitted by the developer of the commercial area. Signage shall be of uniform and consistent design and appearance.

Lighting

- The developer recognizes the significant need for individual private development to present a "corporate" or "distinctive" image for the facilities and functions of the development according to each use. The developer will review reasonable proposals for approaches to lighting design, which may include building facade lighting, sign lighting, access lighting, and feature lighting.
- Color, style, proportion, and technical aspects such as intensity, glare, fixture height, direction of lighting, and photometric considerations shall be reviewed by the developer, in order to minimize light pollution and spillover onto adjacent properties.

SUBAREA 'B' – Adult Assisted Living Facility

GENERAL AND SITE REQUIREMENTS

Maximum Building Height

No building shall be erected above three (3) stories in height plus the roof.

Required Trash Areas

All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. Container systems shall not be located in front yards. Container systems shall be 100 percent opaque, enclosing all four sides with a gate on one side.

Service and Loading Areas

Service and Loading areas shall be screened from adjacent unlike uses and shall not be located at the front of buildings. Service and Loading areas shall not face Hazelton-Etna Road.

Landscaping and Screening

See Preliminary Landscape and Buffer Plan (Exhibit G)

ARCHITECTURAL GUIDELINES**Walls**Acceptable Materials

Wood clapboard, finished with paint or solid

stain Cedar shingles, finished with paint or stain

Fiber-cement ("HardiPlank" or equal) lap siding, finished with paint Brick, minimal color variation, traditional colors

Natural stone, Cultured Stone, or equal

Stucco

Vinyl siding, minimum 44 mil thickness, acceptable profiles are limited to triple 3" and double 4.5" shiplap

Prohibited Materials

Wood fiber composites

T-111

Plywood

Aluminum

siding

Methods and Configuration

Wall materials must be appropriate for architectural style. Generally, siding shall be horizontal with no greater than a 7.5" exposure, except as noted for vinyl siding. Multiple wall cladding materials are discouraged unless typical of the architectural style. Where brick, stone, or stucco is used on the front of a building it must wrap the side by a minimum of 4' or stop at an acceptable break line. Where stucco type materials are used, they shall have a background color and a complimentary trim color to include banding and windows.

Foundations & Piers

Acceptable Materials

Poured concrete

Brick

Natural stone, Cultured Stone, or equal

Pressure treated lumber (above grade, for piers only)

Roofs

Acceptable Materials

30 year or better dimensional asphalt or fiberglass shingles

Standing seam and batten seam metal

Copper

Slate or approved synthetic slate

Membrane or built-up (for flat roof)

Prohibited Materials

Corrugated metal

Methods and Configuration

Roof pitch shall be appropriate with style, generally 4:12 to 12:12.

Flat roofs are permitted if hidden by a facade.

Mansard roofs are not permitted.

Fascia, Trim, and Soffit

Acceptable Materials

Wood, painted or stained

Prefinished aluminum

Fiber-cement (HardiSoffit, HardiPanel) or other approved synthetic products

Porches & Balconies

Acceptable Materials

Columns:

Natural stone, Cultured Stone, or equal

Wrought iron or equal

Wood, painted or stained

Fiberglass or other approved synthetic materials, painted

Brick

Stucco

Balustrades:

Wrought iron or equal

Wood, painted or stained

Vinyl

Porch Floors:

Wood, painted or stained

Concrete

Tile

Brick pavers
Trex or equal
Synthetic material (at balconies only, above dry areas)

Porch Ceilings:

Wood, painted or stained
Stucco
Exposed rafters, painted or stained
Exterior drywall
Vinyl
Aluminum

Prohibited Materials

Screen on front porches
T-111

Methods and Configuration

Porch columns shall be at least 6" in diameter if greater than 8' in height. Balustrades shall have top and bottom rails with eased edges, centered on balusters.

Decks

Acceptable Materials

Wood, pressure treated or western red cedar
Trex or equal

Windows

Acceptable Materials

Frame & Sash:

Wood
Clad wood windows
Vinyl
Aluminum
Glazing:
Clear glass Beveled or
stained Lightly tinted

Prohibited Materials

Highly reflective
glazing Steel windows

Methods and Configuration

Windows shall be vertically proportioned. Mullions are encouraged. Shutters may be used.

Acceptable Finishes

Solid wood with glazing and/or panels, painted or stained
Fiberglass with glazing and/or panels, painted
Insulated metal with glazing and/or panels, painted
Aluminum sliding glass for patio doors

Garages, Covered Parking and Garage Doors

Insulated raised panel steel doors with and without window glass

Garages should have exterior materials consistent with the Main Building(s) and with same design style

Covered Parking – standing seam metal roofs with galvanized or painted steel columns

Chases, Roof and Wall Vents

Acceptable Chimney and Chase Materials

Stucco with cap or coping

Brick

Natural stone, Cultured Stone, or equal Siding

Methods and Configuration

Chimneys and chases on street sides must be compatible with the building architecture, and truncations below the roof line are strongly discouraged. Wall and roof vents shall be finished in a color compatible with the surrounding material. Ridge vents are encouraged.

Colors

Exterior colors: The color palette for the proposed buildings shall generally be natural earth tone colors, primarily shades of green, brown, and gray.

SUBAREA 'C' - MULTI-FAMILY CONDOMINIUMS

GENERAL AND SITE REQUIREMENTS

Maximum Building Height

No building shall be erected or enlarged to exceed 35 feet above grade. Buildings shall consist of single-story, one & one half and two-story two family attached buildings.

Lot Area

The number of condominium dwellings shall not exceed six (6) dwelling units per acre of lot area.

Dwelling Size and Distribution

The following are minimum sizes for finished areas of the condominium units, excluding porches or basements shall be 1,400 square feet.

Required Trash Areas

All trash and garbage shall be stored in the garage or where effectively screened from the street.

Landscaping/Screening

See Preliminary Landscape and Buffering Plan, Exhibit G.

ARCHITECTURAL GUIDELINES

Building Orientation

Buildings shall be sited as shown on the Final Development Plan.

Walls

Acceptable Materials

Wood clapboard, finished with paint or solid stain

Cedar shingles, finished with paint or stain

Fiber-cement ("HardiPlank" or equal) lap siding or other approved synthetic product, finished with paint

Brick, minimal color variation, traditional colors

Natural stone, Cultured Stone, or equal

Stucco

Vinyl siding, minimum 44 mil thickness, acceptable profiles are limited to triple 3" and double 4.5" shiplap

Prohibited Materials

Wood fiber composites

Aluminum siding

T-111

Methods and Configuration

Wall materials must be appropriate for architectural style. Generally, siding shall be horizontal with no greater than a 7.5" exposure, except as noted for vinyl. Multiple wall cladding materials are discouraged unless typical of the architectural style. Where brick, stone, or stucco is used on the front of a building it must wrap the side by a minimum of 4' or stop at an acceptable break line. Where stucco type materials are used, they shall have a background color and a complimentary trim color to include banding and windows.

Foundations & Piers

Acceptable Materials

Poured concrete

Brick

Natural stone, Cultured Stone, or equal

Exposed concrete block - painted

Prohibited Materials

Exposed concrete block (where foundation exposed more than 24" above grade)

Roofs

Acceptable Materials

30 year or better dimensional asphalt or fiberglass shingles

Standing seam and batten seam metal

Prohibited Materials

Corrugated metal

Methods and Configuration

Roof pitch shall be appropriate with style, generally 6:12 to 12:12.

Porch and minor gables roofs may be a minimum of 4:12. Multiple roof styles and shapes are discouraged on a single building unless typical of the style (for instance, Victorian). Mansard roofs are not permitted.

Fascia, Trim, and Soffit

Acceptable Materials

Wood, painted or stained

Prefinished aluminum

Fiber-cement (HardiSoffit, HardiPanel or approved equal)

Vinyl

Aluminum

Porches & Exterior Balconies

Acceptable Materials

Columns:

Natural stone, Cultured Stone, or equal

Wrought iron or equal

Wood, painted or stained

Fiberglass prefinished or painted

Brick

Stucco

Balustrades:

Wrought iron or equal

Wood, painted or stained

Vinyl

Porch Floors:

Wood, painted or stained

Concrete

Tile

Brick pavers

Trex or equal

Synthetic material (at balconies only, above dry areas)

Porch Ceilings:

Wood, painted or stained

Stucco

Exposed rafters, painted or stained

Exterior drywall – painted or stained

Vinyl

Aluminum

Prohibited Materials

Screen on front porches

Methods and Configuration

Porch columns shall be at least 6" in diameter if greater than 8' in height. Balustrades shall have top and bottom rails with eased edges, centered on balusters.

Decks

Acceptable Materials

Wood, pressure treated or western red cedar
Trex or other approved equal

Windows

Acceptable Materials

Frame & Sash:

Wood
Clad wood windows
Vinyl
Aluminum

Glazing:

Clear glass
Beveled or stained
Lightly tinted

Prohibited Materials

Highly reflective glazing
Steel windows

Methods and Configuration

Windows shall be vertically proportioned. Mullions are encouraged. Shutters may be used.

Doors

Acceptable Materials

Solid wood with glazing and/or panels, painted or stained
Fiberglass with glazing and/or panels, painted
Insulated metal with glazing and/or panels, painted
Aluminum sliding glass for patio doors

Chimneys, Chases, Roof and Wall Vents

Acceptable Chimney and Chase Materials

Stucco with cap or coping

Brick

Natural stone, Cultured Stone, or equal

Siding, only with specific approval of the developer

Methods and Configuration

Chimneys and chases on street sides must be compatible with the building architecture, and truncations below the roof line are strongly discouraged. Wall and roof vents shall be finished in a color compatible with the surrounding material. Ridge vents are encouraged.

Colors

Exterior colors: The color palette for the proposed buildings shall generally be natural earth tone colors, primarily shades of green, brown or gray.

SUBAREA 'D' – SINGLE FAMILY HOMES

GENERAL AND SITE REQUIREMENTS

Maximum Building Height

No building shall be erected or enlarged to exceed 35 feet above grade. Buildings shall consist of single-story, one & one half and two-story single-family homes.

Lot Area

The total number of single-family detached dwellings shall not exceed three (3) dwelling units per acre.

Minimum Lot Size

The minimum lot sizes shall be 52' x 120' and 62' x 120' as indicated on the Development Plan.

Lot Setbacks

Lot Setbacks for Subarea D shall be as follows:

For 52' wide lots:

Front Yard Setback	25 feet
Rear Yard Setback	25 feet
Side yard Setback	5 feet (10 feet combined)

For 62' wide lots:

Front Yard Setback	25 feet
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Rear Yard Setback	25 feet
Side yard Setback	6 feet (12 feet combined)

Dwelling Size and Distribution

The following are minimum sizes for finished areas of the condominium units, excluding porches or basements shall be 1,400 square feet for single story homes and 1,600 for one & one half and two-story homes.

Required Trash Areas

All trash and garbage shall be stored in the garage or whereas to effectively screen from the street.

Landscaping/Screening

See Preliminary Landscape and Buffering Plan (Exhibit G)

ARCHITECTURAL GUIDELINES

Building Orientation

Buildings shall be sited as shown on the Final Development Plan.

Walls

Acceptable Materials

Wood clapboard, finished with paint or solid stain

Cedar shingles, finished with paint or stain

Fiber-cement ("Hardiplank" or equal) lap siding or other approved product, finished with paint

Brick, minimal color variation, traditional colors

Decorative concrete block

Natural stone, Cultured Stone, or equal

Stucco

Vinyl siding, minimum 44 mil thickness

Prohibited Materials

Wood fiber composites

Aluminum siding

T-111

Methods and Configuration

Wall materials must be appropriate for architectural style. Generally, siding shall be horizontal with no greater than a 7.5" exposure, except as noted for vinyl. Multiple wall cladding materials are discouraged unless typical of the architectural style. Where brick, stone, or stucco is used on the front of a building it must wrap the side by a minimum of 4' or stop at an acceptable break line. Where stucco type materials are used, they shall have a background color and a complimentary trim color to include banding and windows.

Foundations & Piers

Acceptable Materials

Poured concrete
Brick
Natural stone, Cultured Stone, or equal
Exposed concrete block - painted

Prohibited Materials

Exposed concrete block (where foundation exposed more than 24" above grade)

Roofs

Acceptable Materials

30 year or better dimensional asphalt or fiberglass shingles
Standing seam and batten seam metal

Prohibited Materials

Corrugated metal

Methods and Configuration

Roof pitch shall be appropriate with style, generally 6:12 to 12:12.
Porch and minor gables roofs may be a minimum of 4:12. Multiple roof styles and shapes are discouraged on a single building unless typical of the style (for instance, Victorian). Mansard roofs are not permitted.

Fascia, Trim, and Soffit

Acceptable Materials

Wood, painted or stained
Prefinished aluminum
Fiber-cement (HardiSoffit, HardiPanel or approved equal) or other approved synthetic product
Vinyl
Aluminum

Porches & Exterior Balconies

Acceptable Materials

Columns:

Natural stone, Owens Corning Cultured Stone, or equal
Wrought iron or equal
Wood, painted or stained
Fiberglass, prefinished or painted
Brick
Stucco

Balustrades:

Wrought iron or equal
Wood, painted or stained
Vinyl

Porch Floors:

Wood, painted or stained
Concrete
Tile
Brick pavers
Trex or equal
Synthetic material (at balconies only, above dry areas)

Porch Ceilings:

Wood, painted or stained
Stucco
Exposed rafters, painted or stained
Exterior drywall – painted or stained
Vinyl
Aluminum

Prohibited Materials

Screen on front porches

Methods and Configuration

Porch columns shall be at least 6" in diameter if greater than 8' in height. Balustrades shall have top and bottom rails with eased edges, centered on balusters.

Decks

Acceptable Materials

Wood, pressure treated or western red cedar
Trex or other approved equal

Windows

Acceptable Materials

Frame & Sash:

Wood
Clad wood windows
Vinyl
Aluminum

Glazing:

Clear glass Beveled or stained
Lightly tinted

Prohibited Materials

Highly reflective glazing

Methods and Configuration

Windows shall be vertically proportioned. Mullions are

encouraged. Shutters may be used.

Doors

Acceptable Materials

Solid wood with glazing and/or panels, painted or stained

Fiberglass with glazing and/or panels, painted

Insulated metal with glazing and/or panels, painted

Aluminum sliding glass for patio doors

Chimneys, Chases, Roof and Wall Vents

Acceptable Chimney and Chase Materials

Stucco with cap or coping

Brick

Natural stone, Owens Corning Cultured Stone, or equal

Siding, only with specific approval of the developer

Methods and Configuration

Chimneys and chases on street sides must be compatible with the building architecture. Direct vent fireplaces without full chimneys are approved. Wall and roof vents shall be finished in a color compatible with the surrounding material. Ridge vents are encouraged.

Colors

Exterior colors: The color palette for the proposed buildings shall generally be natural earth tone colors, primarily shades of green, brown or gray.

2. Including signature and date lines for the applicant, certifying the text

See below for signature certification.

3. Dimensions and or acreages illustrated on the development plan shall be described in the development standards text.

Sub-Area 'A' - +/- 25.10 acres

Sub-Area 'B' - +/- 8.4 acres

Sub-Area 'C' - +/- 10.5 acres

Sub-Area 'D' - +/- 51.35 acres

4. Any provisions that depart from applicable standards set forth in the City of Pataskala Zoning Code addressing signage; landscaping, appearance and parking will be described and justified.

- a. 50% of dwellings shall have direct access to or abut common open space – 1255.10(c) – The Applicant is proposing to cluster*

the single-family units to permit significant perimeter Open Space around the two (2) sections of single family detached units and provide a large park for the benefit for the community.

- b. Minimum 16 feet between buildings for the 52' wide lots - 1255.08(g)(2) – The intended cluster development needs to reduce the side yards to 10 feet between buildings for the 52' lots.*
- c. Minimum 35% open space of land developed with no more than 10% of open space may be used for storm water basins – 1255.10(b)(1) – The Applicant is proposing at least 35% Open Space for residential uses (including Sub-Area 'B') only. See Exhibit E Open Space/ Sidewalk Plan. It is desirable to have the commercial buildings in a more urban design with less parking and having the buildings along Hazelton-Etna Road as close as practical. This leaves little room to meet the minimum Open Space for that use. Further the site is challenged with limited storm outlets so the size of the retention basins had to increase thus the percentage of Open Space used for the ponds will need to increase.*
- d. All underground utilities required – 1255.10(f) – It is not practical to install the existing power and other utilities, located along Hazelton-Etna Road, underground. The costs would be prohibitive.*
- e. Maximum 80% impervious surface for commercial uses – 1255(i)(2) – The proposed more urban site design of the commercial makes the 80% goal likely challenging. The Applicant would like some flexibility to consider more impervious surfaces based upon the users and design of Sub- Area 'A' when the Final Development Plan(s) are submitted.*
- f. Parking area serving non- residential areas shall provide for 100% opaque screens for 7 feet in height if abutting residential areas, other residential zones or uses – 1255.10(j) – The design intent is for Hazelton Crossing is to create a true mixed-use pedestrian friendly community which the Applicant believes will make the community more desirable for a range of residents. It seems inconsistent with that intent to completely screen the parking area from the proposed residential uses on the site. Screening for the headlights in the parking area is certainly appropriate.*
- g. Landscape Requirements for screening – 1283.06 & 1283.07 – The Applicant is proposing that the significant open space*

buffer around the site particularly adjacent residential neighborhood to the north that there be some flexibility on the screening standards. It is suggested that the Landscape/Buffer Plan, Exhibit G, as submitted be the required landscaping for the site.

- h. Can the retail parcel have a full access curb cut as proposed on the Preliminary Development Plan? – The Applicant is proposing that the full access entrance to Sub-Area ‘A’ from Refugee Road be permitted.*
 - i. Is this development subject to the Transportation Corridor Overlay District – Chapter 1259? – The Applicant hereby requests that the standards for the Transportation Corridor Overlay District be waived for this community.*
 - j. The applicant requests a divergence from Section 1113.07(i) in order to provide the required plans and applications necessary for the NPDES permit at the Final Development Plan / Final Engineering Stage.*
 - k. The applicant requests a divergence from Section 1113.07(k) in order to provide the requested information at the Final Development Plan / Final Engineering stage.*
 - l. The applicant has agreed to the City’s request to relocate the main access for subarea ‘D’ from it’s northern location on Refugee Road to align with the existing single family entrance. To accomplish this request, and maintain the proposed layout for the single-family subarea, the applicant requests a divergence from the design standards of section 1117.10 to allow for the entrance road design as shown on the Preliminary Development Plan.*
 - m. The applicant requests a divergence from the standards of section 1117.10 to allow for the reduced centerline radii and the eyebrow design as indicated at the intersections of Hannahs drive and Beams Way, the northwest corner of Beams Way, and the northwest corner of Scotsgrove Drive.*
- 5. Provision shall be made to establish a private organization (i.e. homeowners/ or master association) with direct responsibility to provide for the operation and maintenance of all common facilities and amenities that are part of the planned development, and in such instance the legal assurances demonstrating that the private organization is self-perpetuating.**
- The Applicant shall provide with the submission of the Final Development Plan a Declaration of Covenants, Conditions, Restrictions and Easements for Hazelton Crossing for Sub-Area ‘D’ committing that a Homeowners Association will be formed that*

requires all lot owners to be members of the Association and to be responsible for the maintenance of properties of the community, including the Open Space of that Subarea. Further, the Declaration shall provide the Association the authority to foreclose on members who do not meet their obligations to fund that maintenance.

- *In addition, the Applicant shall provide with the submission of Final Development Plan a Declaration of Condominium for Hazelton Crossing Condominium in Sub-Area 'C' committing to the formation of a Condominium Association that requires all Condominium owners to be members of the Association and to be responsible for the maintenance of properties of the community, including the Open Space of that Subarea. Also, the Condominium Association will be responsible for the maintenance and even snow plowing of the private streets of the community. Finally, the Declaration shall provide the Association the authority to foreclose on members who do not meet their obligations to fund that maintenance.*
- *The owners of Sub-Areas 'A' and 'B' shall be obligated to maintain to any Open Space identified on the Preliminary Development Plan included as Exhibit D.*

6. Traffic Issues

7. *The Applicant has included a Memorandum of Understanding executory as of January 27, 2021 as Exhibit Q-1, and an updated Traffic Impact Study dated June 24, 2020 as Exhibit Q-2.***Permitted Land Uses**

Sub-Area 'A'

All Permitted Uses in the General Business District (GB) plus all Conditional Uses in GB except Watercraft and/or recreational vehicle storage, Newspaper publishing plant and Welding shops.

Sub-Area 'B'

Skilled Nursing Facilities, Memory Care Facilities, Assisted Care Facilities, Long Term Care Facilities, Inpatient Rehabilitation Centers and Independent Senior Residential Community.

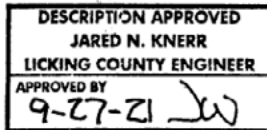
Sub-Area 'C'

Multi-family attached residential units

Sub-Area 'D'

Single family detached residential units

TAB 2
LEGAL DESCRIPTION



202109280029513
Pg: 4 \$50.00 T20210028965
9/28/2021 2:19 PM BXCROWN SEAR
Bryan A. Long Licking County Recorder



LIMITED WARRANTY DEED

Dalton Title-C 20734892-TCM

KNOW ALL BY THESE PRESENTS, that Southgate Company Limited Partnership, an Ohio Limited Partnership, for valuable consideration paid, grants, with limited warranty covenants, to Rockford Homes, Inc., whose tax mailing address is 999 Polaris Parkway Suite 200 Columbus, OH 43240, the following real property:

SEE ATTACHED EXHIBIT A

Being 52.201 acres out of tax parcel number 064-152964-00.000

Prior instrument reference: Instrument number 200708310023021, Licking County Recorder's Office.

Excepting Taxes for the year 2021 and later, zoning ordinances, restrictions and easements of record.

Without limiting the generality of the foregoing, the premises are conveyed subject to the exceptions, covenants and reservations enumerated on the attached Exhibit B.

Executed this 16 day of July, 2021.

Southgate Company Limited Partnership

By Southgate Corporation, General Partner

By [Signature]
Robert E. O'Neill, President

State of Ohio,
County of Licking, ss:

Before me, in and for said County and State, personally appeared Robert E. O'Neill, President of Southgate Corporation, General Partner of the above-named Southgate Company Limited Partnership, who acknowledged before me that he did sign the foregoing instrument and that the same is his free act and deed.

In Testimony Whereof, I have hereunto set my hand and official seal this 16th day of July, 2021.



Christina A. Dickerson
Notary Public
My Commission Expires: April 21, 2024

THE INSTRUMENT PREPARED BY
THE LAW OFFICES OF JONATHAN A. VELEY, LLC
2034 CHERRY VALLEY ROAD
NEWARK, OHIO 43055

PRE-APPROVAL	
LICKING COUNTY ENGINEER	
APPROVED <input checked="" type="checkbox"/>	CONDITIONAL <input type="checkbox"/>
APPROVED BY: <i>[Signature]</i>	
DATE: <i>6-28-21</i>	

DESCRIPTION FOR A 52.201 ACRE TRACT

Situated in the State of Ohio, County of Licking, City of Pataskala, and being a part Lot 6 in the 4th Quarter, Township 1, Range 15, of the United States Military Lands, and being 52.201 acres of a 94.811 acre tract (Parcel Number 064-152964-00.000) as conveyed to Southgate Company Limited Partnership, in Instrument Number 200708310023021, all references being to those of record in the Recorder's Office, Licking County, Ohio, said 52.201 acre tract being more particularly bounded and described as follows:

Beginning at a 3/4" pipe found marking the northeast corner of Lot 6, the northeast corner of the said 94.811 acre tract, the southeast corner of the Tatman Place Second Addition subdivision as recorded in Plat Book 11, Page 81, also being the southwest corner of a 11.785 acre tract, and the northwest corner of a 12.47 acre tract as conveyed to Mark Brandum in Instrument Number 202010200027791;

Thence southerly along the easterly line of the said 94.811 acre tract and the westerly line of the said 12.47 acre tract, **South 3° 31' 18" West, 252.00 feet** to a 3/4" pipe found marking the northwest corner of a 22.001 acre tract as conveyed to David and Pi-Feng Kauff in Instrument Number 201205040009902;

Thence southerly along the easterly line of the said 94.811 acre tract and the westerly line of the said 22.001 acre tract, **South 3° 34' 04" West, 1150.38 feet** to a 3/4" pipe found marking the northwest corner of a 5.034 acre tract as conveyed to Christopher Roy and Elizabeth Ann Schmitz in Instrument Number 202005210011754;

Thence southerly along the easterly line of the said 94.811 acre tract and the westerly line of the said 5.034 acre tract, **South 3° 32' 02" West, passing a 3/4" pipe found at 783.18 feet, a total distance of 813.06 feet**, to the centerline of Refugee Road (County Road 30), and also being the southeast corner of Lot 6, and also the southeast corner of the said 94.811 acre tract;

Thence westerly along the centerline of Refugee Road (County Road 30), and the southerly line of the said 94.811 acre tract, **North 86° 07' 54" West, 930.02 feet**, to a point;

Thence northerly with what represents new lines across the said 94.811 acre tract the following five (5) courses and distances;

North 03° 32' 02" East, passing an iron pin set at 30.00 feet, 807.91 feet, to an iron pin set;

DESCRIPTION FOR A 52.201 ACRE TRACT

North 03° 34' 04" East, 949.59 feet, to an iron pin set;

North 86° 00' 13" West, 488.90 feet, to an iron pin set;

North 11° 20' 14" East, 282.31 feet, to an iron pin set; and...

North 03° 59' 47" East, 180.00 feet, to an iron pin set on the northerly line of the said 94.811 acre tract and the southerly line of the Tatman Place first Addition subdivision as recorded in Plat Book 9, Page 26;

Thence easterly along the northerly line of the said 94.8011 acre tract and the southerly line of the Tatman Place First and Second Additions, **South 86° 00' 13" East, 1379.21**, to the **Point of Beginning** and containing 52.201 acres, more or less, according to a survey made by Hull & Associates, Inc. in June of 2021.

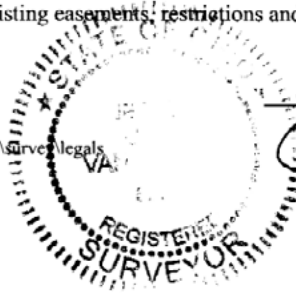
The bearings in the above description are based on the Ohio State Plane Coordinates System, South Zone, NAD83(2011).

All iron pins set are 5/8" in diameter rebar by 30" in length with red identification caps marked "HULL 8283".

Subject to all valid and existing easements, restrictions and conditions of record.

June 15, 2021

F:\Clients\Active\RFK\RFK003\Survey\legals



Jeremy L. Van Ostran, P.S.
Surveyor No. 8283

TAB 3
LIST OF ADJACENT PROPERTY
OWNERS

Christopher & Elizabeth Schmitz
9796 Refugee Rd SW
Pataskala, OH 43062

Michael & Patricia Bookman
9756 Refugee Rd SW
Pataskala, OH 43062

Stephen & Pi-Feng Kauff
9720 Refugee Rd SW
Pataskala, OH 43062

Mark Brandum
7584 Smoke Rd
Pataskala, OH 43062

Beverly Butts
318 Stoney Ridge Drive
Pataskala, OH 43062

Rachel Lehman Trustee
311 Stoney Ridge Dr
Pataskala, OH 43062

Bruce & Sara Miller
290 Stoney Ridge Drive
Pataskala, OH 43062

Sharon Huckle
268 Stoney Ridge Drive
Pataskala, OH 43062

William & Marilyn Green
188 Stoney Ridge Drive
Pataskala, OH 43062

Anthony & Deborah Mangine
246 Stoney Ridge Drive
Pataskala, OH 43062

Shanna J Atwood
224 Stoney Ridge Drive
Pataskala, OH 43062

Susan Bowels
166 Stoney Ridge Drive
Pataskala, OH 43062

Kyle & Beth Leckrone
144 Stoney Ridge Drive
Pataskala, OH 43062

Mary Oiler
122 Stoney Ridge Drive
Pataskala, OH 43062

Hollis & Mary Coleman
100 Stoney Ridge Drive
Pataskala, OH 43062

Julie Rhodeback
76 Stoney Ridge Drive
Pataskala, OH 43062

Camille Martin
56 Stoney Ridge Drive
Whitehall, OH 43213

Conrad Veidt
34 Stoney Ridge Drive
Pataskala, OH 43062

Dayla & Zachery Thomas
14 Stoney Ridge Drive
Pataskala, OH 43062

J & CW Enterprise LTD
7856 Hazelton-etna Rd
Pataskala, OH 43062

Sugar Mill Homeowners
Association INC
PO Box 253
Pataskala, OH 43062

Brian Dixon Trustee
PO Box 1266
Pataskala, OH 43062

Ronit & Devi Neupaney
102 Brenden Park Dr
Etna, OH 43062

Phyllis & Patrick Jensen
101 Brenden Park Dr
Etna, OH 43062

William & Katherine Queen
105 Brenden Park Dr
Etna, OH 43062

Dawn Arndt
106 Brenden Park Dr
Etna, OH 43062

Cameron Chase Homeowners
ASSN INC
56 Stoney Ridge Drive
Etna, OH 43062

Kevin King & Patricia Lacey
7922 Hazelton Etna Road
Pataskala, OH 43062

Pataskala Church of the Nazarene
8100 Hazelton Etna Road
Pataskala, OH 43062

Vitold Ltd.
9570 Refugee Road
Pataskala, OH 43062

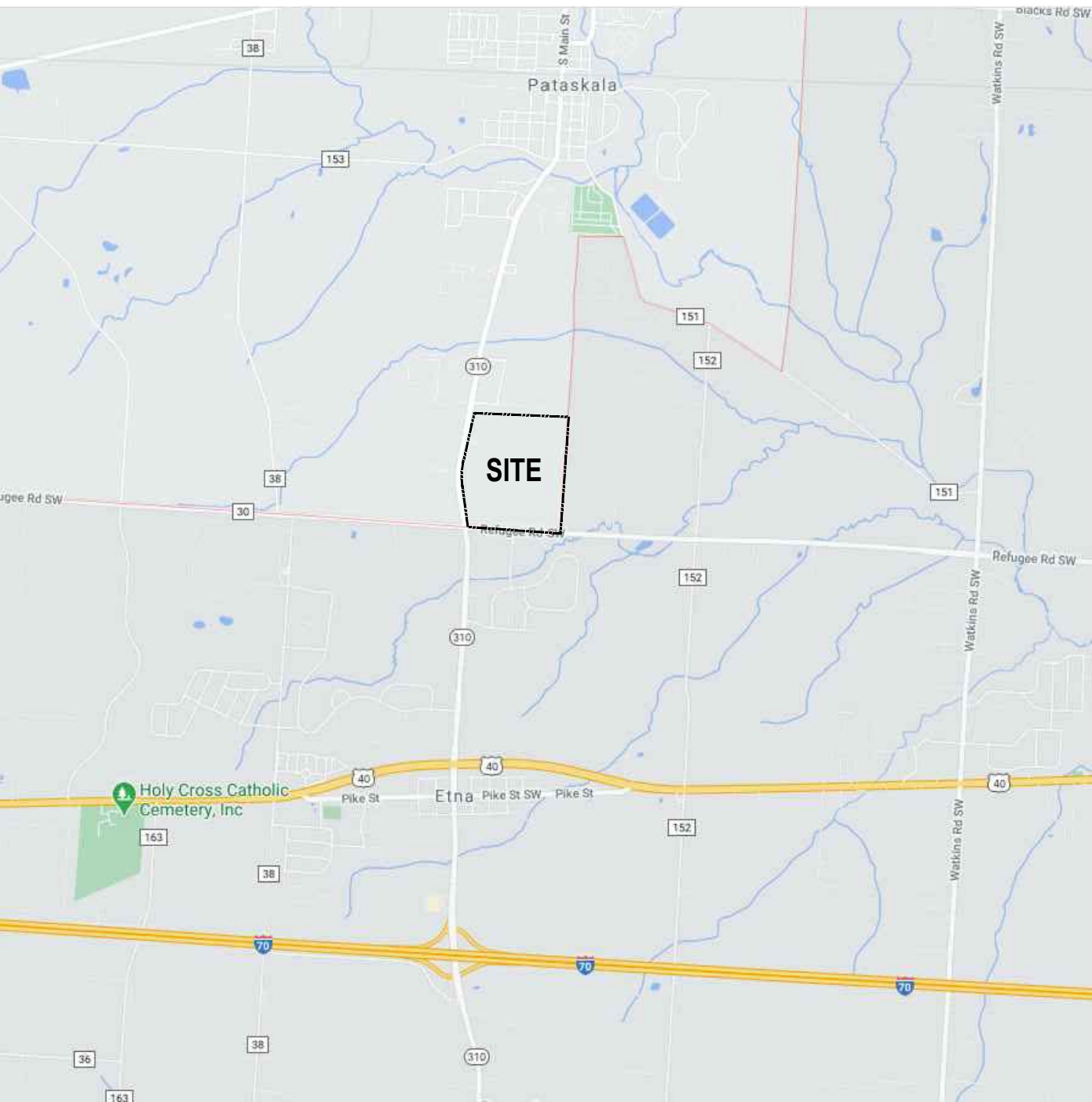
State of Ohio
Hazelton-Etna Rd
Pataskala, OH 43062

Southgate Company Limited
8049 Hazelton-Etna Rd
Pataskala, OH 43062

TAB 4
FINAL DEVELOPMENT PLAN
EXHIBITS

Final Development Plan for HAZELTON CROSSING Subarea 'D' Phase 1

SITUATED IN THE STATE OF OHIO, COUNTY OF LICKING, CITY OF PATASKALA,
AND BEING A PART OF LOT 6 LOCATED IN THE 4TH QUARTER, TOWNSHIP - 1, RANGE -15, UNITED STATES MILITARY LANDS



VICINITY MAP

SCALE: N.T.S.

SHEET INDEX - SITE AND LANDSCAPE PLANS

- EXHIBIT 'A' - SITE REGIONAL CONTEXT PLAN
- EXHIBIT 'B1' - SITE SURVEY
- EXHIBIT 'B2' - EXISTING CONDITIONSPLAN / VICINITY PLAN
- EXHIBIT 'C' - SITE ILLUSTRATIVE PLAN
- EXHIBIT 'C1' - FINAL DEVELOPMENT PLAN
- EXHIBIT 'C2' - MODEL HOME PACKAGE
- EXHIBIT 'C3' - UTILITY PLAN
- EXHIBIT 'E' - OPEN SPACE PLAN
- EXHIBIT 'L1.00' - SUB-AREA 'D' PHASE 1 SITE LANDSCAPE PLAN
- EXHIBIT 'L1.01' - LANDSCAPE PLAN ENLARGMENTS
- EXHIBIT 'L2.00' - LANDSCAPE DETAILS I
- EXHIBIT 'L2.01' - LANDSCAPE DETAILS II
- EXHIBIT 'L3.00' - TREE PRESERVATION PLAN AND INDEX

PREPARED FOR

OWNER : ROCKFORD HOMES
999 POLARIS PARKWAY, SUITE 200
COLUMBUS, OH 43240

APPLICANT: ROCKFORD HOMES C/O JIM LIPNOS
999 POLARIS PARKWAY, SUITE 200
COLUMBUS, OH 43240

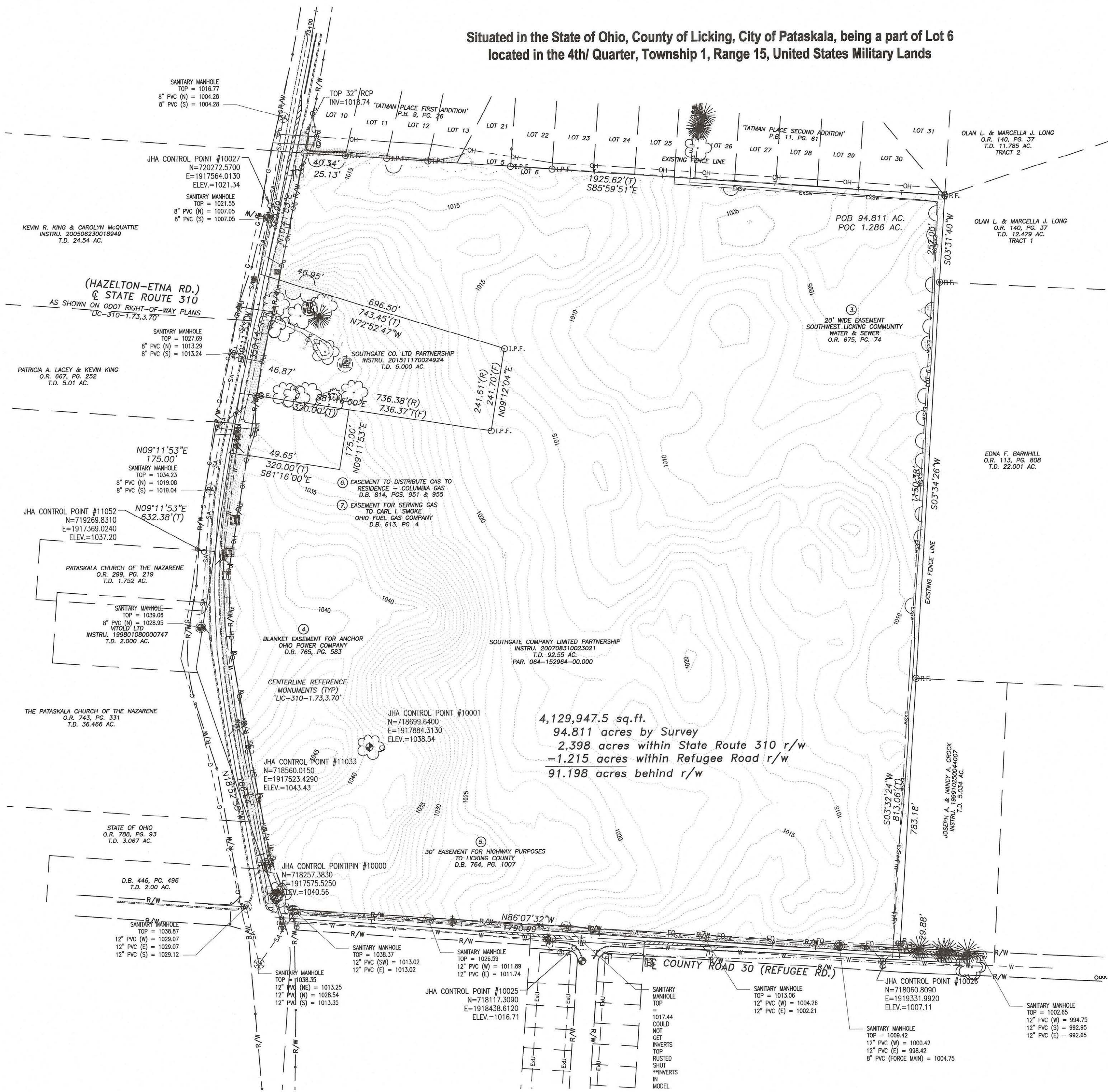
ISSUED FOR	DATE
FINAL DEVELOPMENT PLAN	02.09.2024

APPROVED BY	DATE
XXX	XX.XX.XXXX

SIGNATURES	
APPLICANT, JIM LIPNOS (ROCKFORD HOMES)	DATE
KYLE J. SHREVES, REGISTERED PROFESSIONAL ENGINEER	DATE
CHAIRMAN OF PLANNING AND ZONING COMMISSION	DATE
GENERAL MANAGER, SWLCWSD	DATE
DIRECTOR OF PLANNING	DATE
PUBLIC SERVICES DIRECTOR	DATE
CITY ADMINISTRATOR	DATE
CITY ENGINEER	DATE



Situated in the State of Ohio, County of Licking, City of Pataskala, being a part of Lot 6
located in the 4th/ Quarter, Township 1, Range 15, United States Military Lands



ELECTRIC
AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
GAHANNA, OHIO 43230
614-883-7958
800-672-2231
CALVIN JOHNSON
















































GAS
THE ENERGY COOPERATIVE
120 O'NEILL DRIVE
HEBRON, OHIO 43025
740-348-1116
SEAMUS MULLIGAN

STORM WATER
THE CITY OF PATASKALA
621 W. BROAD STREET
PATASKALA, OH 43062
740-964-2416

SANITARY & WATER
SOUTHWEST LICKING COMMUNITY
WATER AND SEWER DISTRICT
69 ZELLERS LANE
PATASKALA OHIO 43062
740-927-0410
DONALD S. RECTOR, P.E.

TELECOMMUNICATIONS/FIBER
CENTURY LINK
441 WEST BROAD STREET
PATASKALA, OH 43062
740-927-8282
DEE REED

LEGEND

	AC UNIT		POWER/TELEPHONE POLE		DRILL HOLE FND.
	CABLE TV PEDESTAL		SANITARY CLEANOUT		GOV. DISK FND.
	CATCH BASIN		SANITARY MANHOLE		IRON PIN FND.
	CURB INLET		SIGN		IRON PIN SET
	ELECTRIC BOX		STORM MANHOLE		IRON PIPE FND.
	ELECTRIC METER		TELEPHONE MANHOLE		IRON PIPE SET
	FIRE DEPT. CONNECTION		TELEPHONE PEDESTAL		MAG. NAIL FND.
	FIRE HYDRANT		TELEPHONE POLE		CONC. MON. FND.
	GAS LINE MARKER		WATER METER		MON. BOX FND.
	GAS METER		WATER VALVE (MAIN)		MINE SPIKE FND.
	GAS VALVE (MAIN)		WATER VALVE (SERVICE)		P.K. NAIL FND.
	GAS VALVE (SERVICE)		TEL. UTILITY MARKER		P.K. NAIL SET
	GUY WIRE		WYE POLE		RR SPIKE FND.
	LIGHT POLE		YARD DRAIN		SECTION COR. FND.
	POWER POLE		YARD LIGHT		STONE FND.
	POWER/LIGHT POLE				T-BAR FND.

— CATV —	UGND. CABLE	— ExA —	EX. AERIAL ESMT.
— T —	UGND. COMMUN.	— ExCh —	EX. CHANNEL ESMT.
— E —	UGND. ELECTRIC	— ExC —	EX. CONSERVATION ESMT.
— FO —	UGND. FIBER OPTIC	— ExDr —	EX. DRAINAGE ESMT.
— G —	UGND. GAS	— ExFL —	EX. FLOWAGE ESMT.
— SAN —	UGND. SANITARY SEWER	— ExlA —	EX. LIMITED ACCESS ESMT.
— SS —	UGND. SANITARY SERVICE	— ExRR —	EX. RAILROAD ESMT.
.....	UGND. STORM SEWER	— ExSH —	EX. STD. HIGHWAY ESMT.
— W —	UGND. WATER	— ExSL —	EX. SLOPE ESMT.
— WS —	UGND. WATER SERVICE	— ExU —	EX. UTILITY ESMT.
— OH —	OVERHEAD LINES	— R/W —	EX. RIGHT-OF-WAY
— X —	FENCE	— LA-R/W —	EX. LIMITED ACCESS RIGHT-OF-WAY
— P —	PROPERTY LINE		

SURVEYOR NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 1/15/2016
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

NO WATER FEATURES LOCATED ONSITE.

BASIS OF BEARINGS:
THE BEARINGS SHOWN HEREIN ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM. SOUTH SYSTEM, NAD83, GEOID12A.

BENCHMARKS:
AS PER THE TOPOGRAPHIC SURVEY PREPARED BY JOBS HENDERSON & ASSOCIATES THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

BENCHMARK #10028 - CHISELED "X" SOUTH SIDE OF MANHOLE WEST OF 9798 REFUGEE ROAD ELEVATION = 1009.16

BENCHMARK #10029 - CHISELED "X" FIRST CATCH BASIN ON WEST SIDE OF BRENDEN PARK DRIVE ELEVATION = 1016.14

BENCHMARK #10030 - CHISELED "X" IN NORTH BOLT ON TRAFFIC SIGNAL POLE AT AT NORTHEAST CORNER OF INTERSECTION OF SR. RT. 310 AND REFUGEE ROAD. ELEVATION = 1041.34

BENCHMARK #10031 - CHISELED "X" IN EAST RIM SANITARY MANHOLE SOUTH SIDE OF DRIVE INTO ELEVATION = 1038.97

BENCHMARK #10032 - CHISELED "X" WEST RIM OF SANITARY MANHOLE LOCATED ON WEST SIDE OF SR. RT. 310 AT NORTHEAST CORNER OF 7874 HAZELTON ROAD. ELEVATION = 1021.37

BENCHMARK #10033 - RAILROAD SPIKE IN NORTH SIDE OF 48" OAK TREE 600± NORTH OF REFUGEE ROAD AND 800± EAST OF ST. RT. 310. ELEVATION = 1041.55

CONTROL POINTS
BASIS OF BEARING: TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLER8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD 1983, NAVD 1988, GEOID 12A.

SEE DRAWING FOR LOCATION AND INFORMATION. ALL CONTROL POINT ARE 5/8" REBAR WITH CAP.

FIRM COMMUNITY PANEL No.: 39089C0431J
FLOOD ZONE: X
EFFECTIVE DATE: 03/16/2015

JEREMY L. VAN OSTRAN P.S. 8283



OWNER/DEVELOPER
SOUTHGATE CORPORATION
1499 W MAIN ST
NEWARK, OH
740-522-2151

0 150 300
HORIZONTAL SCALE
IN FEET

Planning + Design

G2

Urban Design
Landscape Architecture

720 E. Broad Street
Columbus, Ohio 43215
Ph: 614.565.9230
Web: www.g2planning.com

Jobs
Henderson

A HULL COMPANY

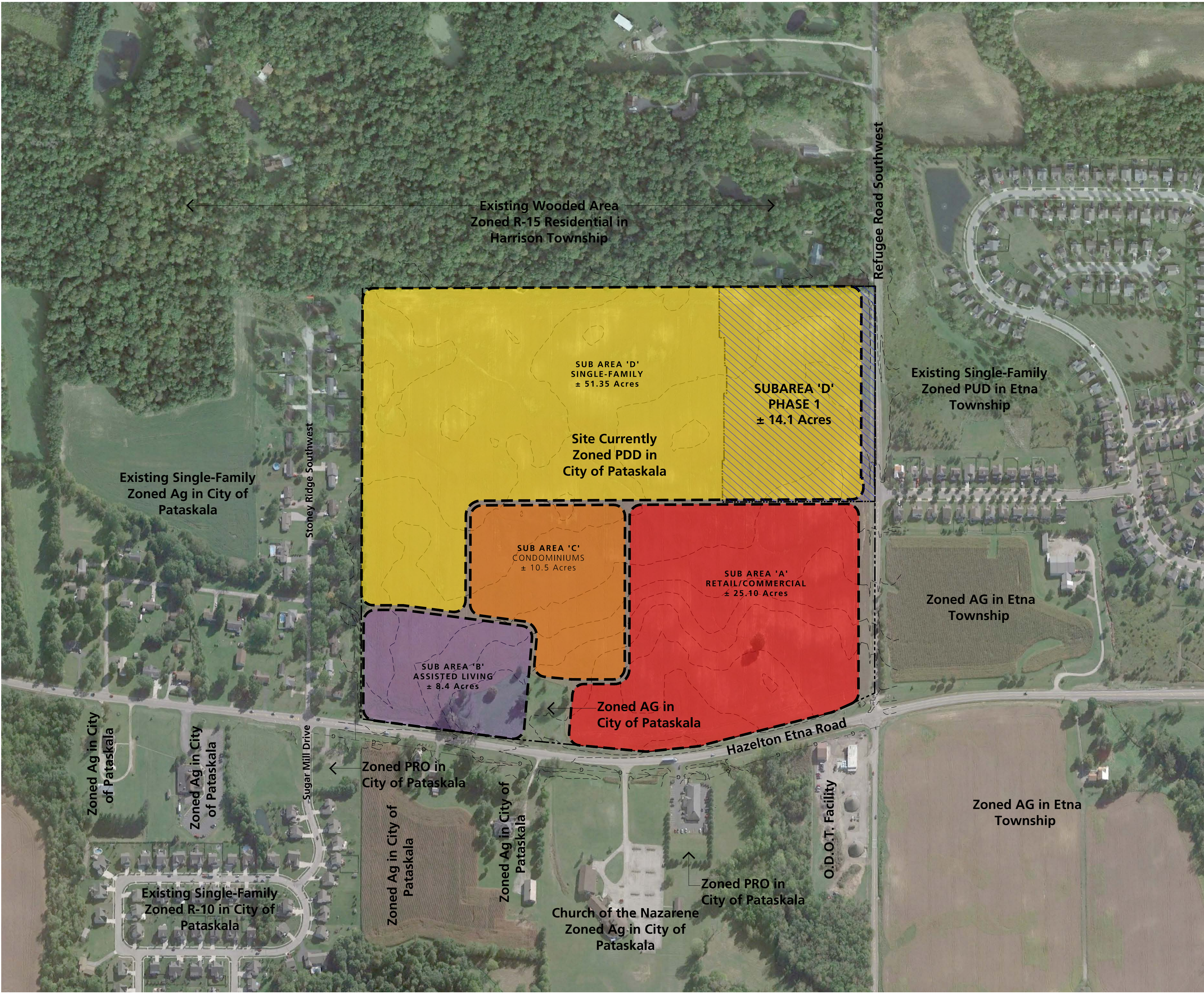
59 GRANT ST NEWARK, OH
740-344-5451

Exhibit 'B-1' Site Survey

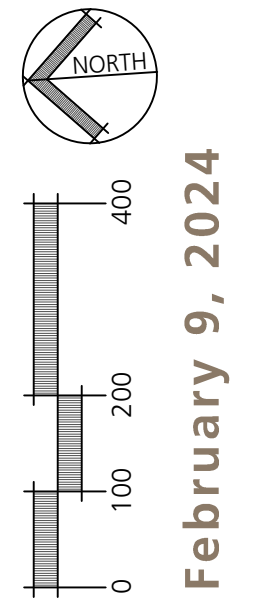
HAZELTON CROSSING

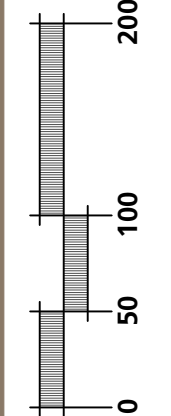
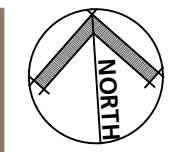
CLIENT:

SOUTHGATE CORPORATION



Site Data:	
Total Site Acreage:	± 95.35 Acres
Sub-Area D, Phase 1	± 14.1 Acres





February 9, 2024

PLANNING
+ DESIGN

G2

EMH&T

Ex.C - Sub Area 'D' Phase 1 Illustrative Plan

HAZELTON CROSSING
SUB-AREA 'D', PHASE 1 F.D.P.

CLIENT:



Site Data:

Total Sub-Area 'D' Phase 1 Site Acreage: ± 14.10 Acres

62' x 120' Lots 16 Lots
52' x 120' Lots 25 Lots
Total Lots: 41 Lots

Site Density: ±2.91 du/ac.
Open Space: ± 3.93 Acres (27.9%)

Setbacks

Front Yard Setback 25'
Side Yard Setback 5'
Rear Yard Setback 25'

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	FOUNTAIN		FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL.) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4670.
2	CROSS BUCK FENCE	C, A L2.00, 2.01	SEE DETAIL C, SHEET L2.00, AND DETAIL A SHEET L.01 FOR MORE INFORMATION
3	COLUMN	B, C L2.00, 2.01	SEE DETAIL B, SHEET L2.00 AND DETAIL A, SHEET L2.01 FOR MORE INFORMATION
4	ENTRY SIGN	A L2.00	SEE DETAIL A, SHEET L2.00 FOR MORE INFORMATION
5	8" X 8" POST	C L2.00	SEE DETAIL C, SHEET L2.00 FOR MORE INFORMATION

FUTURE HAZELTON CROSSING SUB
AREA D
PHASE II

BASIN
(OFF SITE)

SCOTSGROVE DRIVE (50' R.O.W.)

COACHMAN DRIVE (50' R.O.W.)

HANNAHS DRIVE (50' R.O.W.)

50' OPEN SPACE/ BUFFER

ASHBURN LANE 50' R.O.W.

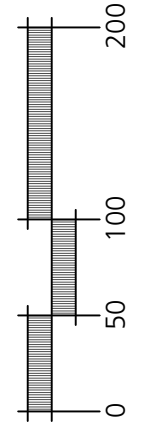
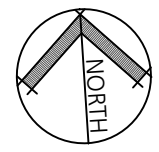
CBU LOCATION
POLE LIGHT (TYP.)

EMERGENCY ACCESS

REFUGEE ROAD SW

8' MULTI-USE TRAIL

ASHBURN LANE 60' R.O.W.



February 9, 2024

PLANNING
+ DESIGN

G2

EMH&T

Ex.C1 - Sub Area 'D' Ph. 1 Final Development Plan

HAZELTON CROSSING
SUB-AREA 'D', PHASE 1 F.D.P.

CLIENT:

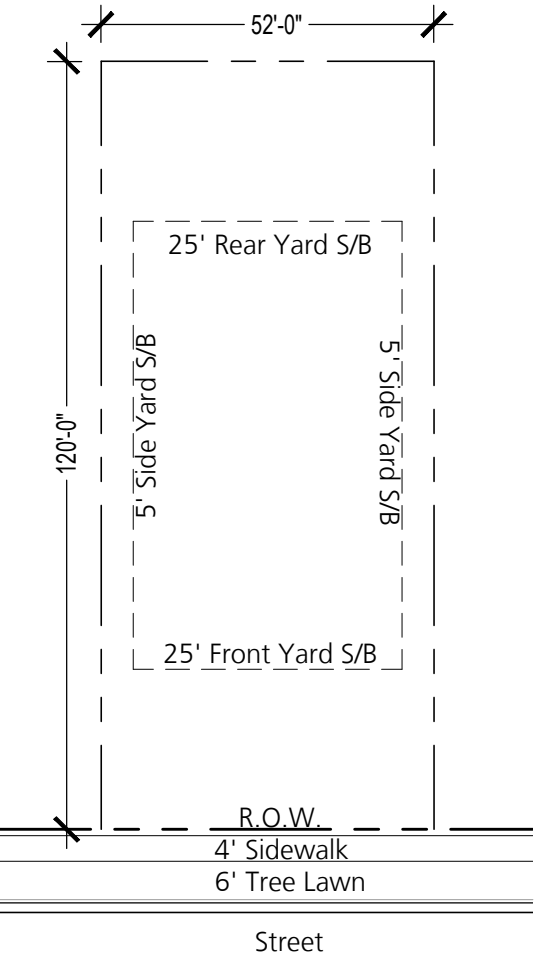


Site Data:

Total Sub-Area 'D' Phase 1 Site Acreage:	± 14.10 Acres
62' x 120' Lots	16 Lots
52' x 120' Lots	25 Lots
Total Lots:	41 Lots
Site Density:	±2.91 du/ac.
Open Space:	± 3.93 Acres (27.9%)

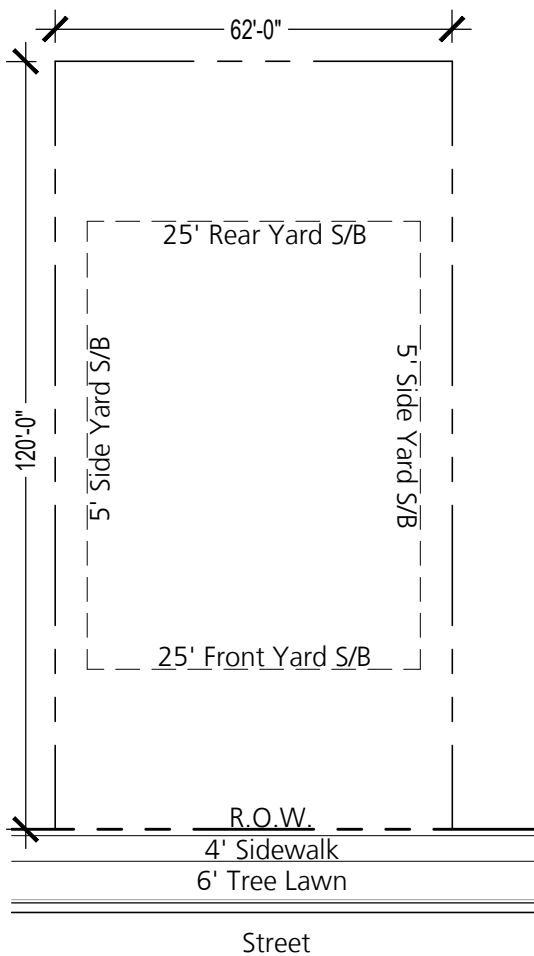
Setbacks

Front Yard Setback	25'
Side Yard Setback	5'
Rear Yard Setback	25'



Typical 52' Lot

SCALE: 1" = 30'



Typical 62' Lot

SCALE: 1" = 30'

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	FOUNTAIN		FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL.) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4670.
2	CROSS BUCK FENCE	C, A L2.00, 2.01	SEE DETAIL C, SHEET L2.00, AND DETAIL A SHEET L.01 FOR MORE INFORMATION
3	COLUMN	B, C L2.00, 2.01	SEE DETAIL B, SHEET L2.00 AND DETAIL A, SHEET L2.01 FOR MORE INFORMATION
4	ENTRY SIGN	A L2.00	SEE DETAIL A, SHEET L2.00 FOR MORE INFORMATION
5	8" X 8" POST	C L2.00	SEE DETAIL C, SHEET L2.00 FOR MORE INFORMATION

* PROPOSED MODEL HOME LOCATION. SEE Ex.C2 FOR MORE INFORMATION

FUTURE HAZELTON CROSSING SUB AREA
D
PHASE II

BASIN
(OFF SITE)

CBU LOCATION
POLE LIGHT (TYP.)

BASIN

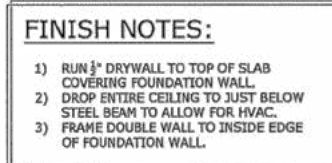
BASIN

EMERGENCY ACCESS

ASHBURN LANE 50' R.O.W.

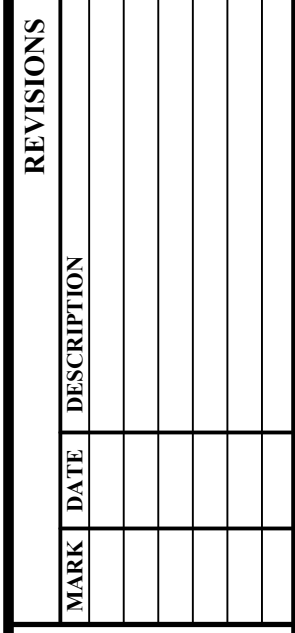
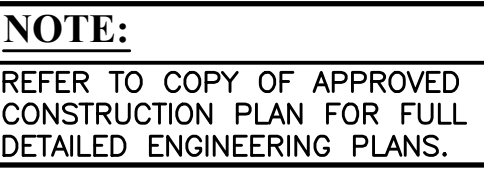
ASHBURN LANE 60' R.O.W.

REFUGEE ROAD SW

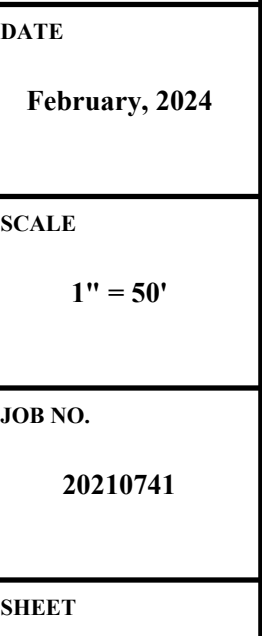


(1)	Red Maple 'Seedless'	Acer rubrum	B& B	2.5"
(1)	Serviceberry	Amalanchier laevis	B& B	6'
(4)	Pyramidal Arborvitae	Tuja occidentalis	CONT	3'
(1)	Oakleaf Hydrangea	Hydrangea paniculata	CONT	5 GAL.
(1)	Van. Strawberry Hyd.	Hydrangea paniculata	CONT	5 GAL.
(1)	Wine & Roses Weigela	Weigela florida	CONT	5 GAL.
(2)	Fothergilla	Fothergilla 'Mt Airy'	CONT	5 GAL.
(4)	Boxwood	Buxus microphylla	CONT	3 GAL.
(2)	Pyr. Boxwood	Buxus microphylla	CONT	24"
(4)	Taxus	Taxus densiformis	CONT	5 GAL.
(3)	Little Princess spirea	Spiraea japonica	CONT	3 GAL.
(5)	Red Drift Rose	Rosa Species	CONT	3 GAL.
(8)	Variegated Liriope	Liriope muscari	CONT	1 GAL.
(3)	Blue Salvia	Salvia nemorosa	CONT	1 GAL.
(5)	Happy Returns Daylily	Hemerocallis Species	CONT	1 GAL.
(1)	Feather Reed Grass	Calamagrostis acutifolia	CONT	2 GAL.
(3)	End. Summer Hydrangea	Hydrangea 'Macrophylla'	CONT	5 GAL.
(2)	Korean Dwarf Lilac	Syringa meyerii	CONT	5 GAL.
(5)	Exbury Azalea	Azalea 'Exbury' Golden Lights'	CONT	3 GAL.





**UTILITY OF PATASKALA, LICKING COUNTY, OHIO
FINAL DEVELOPMENT PLAN
HAZELTON CROSSING
FOR
PHASE 1
UTILITY LAYOUT**



Open Space Data:

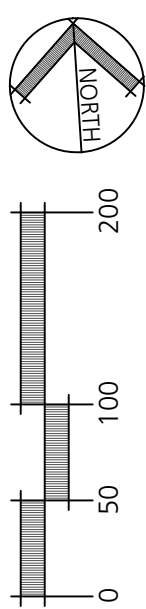
Total Sub-Area 'D' Phase 1 Site Acreage: ± 14.10 Acres

Open Space / Landscape Buffer: ± 3.93 Acres (27.9%)

Notes: Open space within the single-family sub area 'D', shall be owned and maintained by the homeowner associations for each development.

Plan Key

- Sidewalk/Path Hatch
- Openspace Hatch



February 9, 2024

PLANNING
+ DESIGN

G2

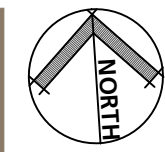
EMH&T

EX.E - Open Space Plan

HAZELTON CROSSING
SUB-AREA 'D', PHASE 1 F.D.P.

CLIENT:





February 9, 2024

PLANNING
+ DESIGN

G2

EMHT

L1.00 - Sub Area 'D' Phase 1 Site Landscape Plan

HAZELTON CROSSING
SUB-AREA 'D', PHASE 1 F.D.P.

CLIENT:



PLANT LIST (Contractor is responsible for all plant material shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES						
6	AC WB	Acer saccharum 'Wright Brothers' Wright Brothers Sugar Maple	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
4	CA LA	Carya laciniosa Shellbark Hickory	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
5	CE OC	Celtis occidentalis Common Hackberry	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
3	LI TU	Liriodendron Tulipifera Tulip Tree	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
14	PL AC	Platanus x acerifolia 'Bloodgood' Bloodgood London Plantree	2" CAL.	B&B	AS SHOWN	Match Form
3	QU BI	Quercus bicolor Swamp White Oak	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
12	QU RU	Quercus rubra Red Oak	2" CAL.	B&B	AS SHOWN	Match Form
28	UL AC	Ulmus x 'Morton' Accolade Elm	2" CAL.	B&B	AS SHOWN	Match Form
19	ZE SE	Zelkova serrata 'Green Vase' Green Vase Zelkova	2" CAL.	B&B	AS SHOWN	Match Form

SMALL / ORNAMENTAL TREES						
3	AM GR	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	8' HT.	B&B	AS SHOWN	Match Form
2	CE CA	Cercis canadensis Eastern Redbud	8' HT.	B&B	AS SHOWN	Match Form
3	CR WK	Crataegus viridis 'Winter King' Winter King Hawthorn	8' HT.	B&B	AS SHOWN	Match Form
4	MA VI	Magnolia virginiana Sweetbay Magnolia	8' HT.	B&B	AS SHOWN	Match Form

EVERGREEN TREES						
3	AB CO	Abies Concolor White Fir	6' HT.	B&B	PER PLAN	
7	PI AB	Picea abies Norway Spruce	6' HT.	B&B	PER PLAN	
3	PI OM	Picea omorika Serbian Spruce	6' HT.	B&B	PER PLAN	
4	PI ST	Pinus strobus White Pine	6' HT.	B&B	PER PLAN	

CODE REQUIRED LANDSCAPE KEY

1283.03 (B)(2)
REPLACEMENT TREE

1283.05
STREET TREE

REPLACEMENT TREE NOTE:
- 8 TREES REMOVED BETWEEN 8" AND 15" CAL.,
REQUIRING 16 2.5" CAL. TREES (1:2 RATIO).
- 2 TREES REMOVED AT 15" OR GREATER CAL.,
REQUIRING 8 2.5" CAL. TREES (1:4 RATIO)

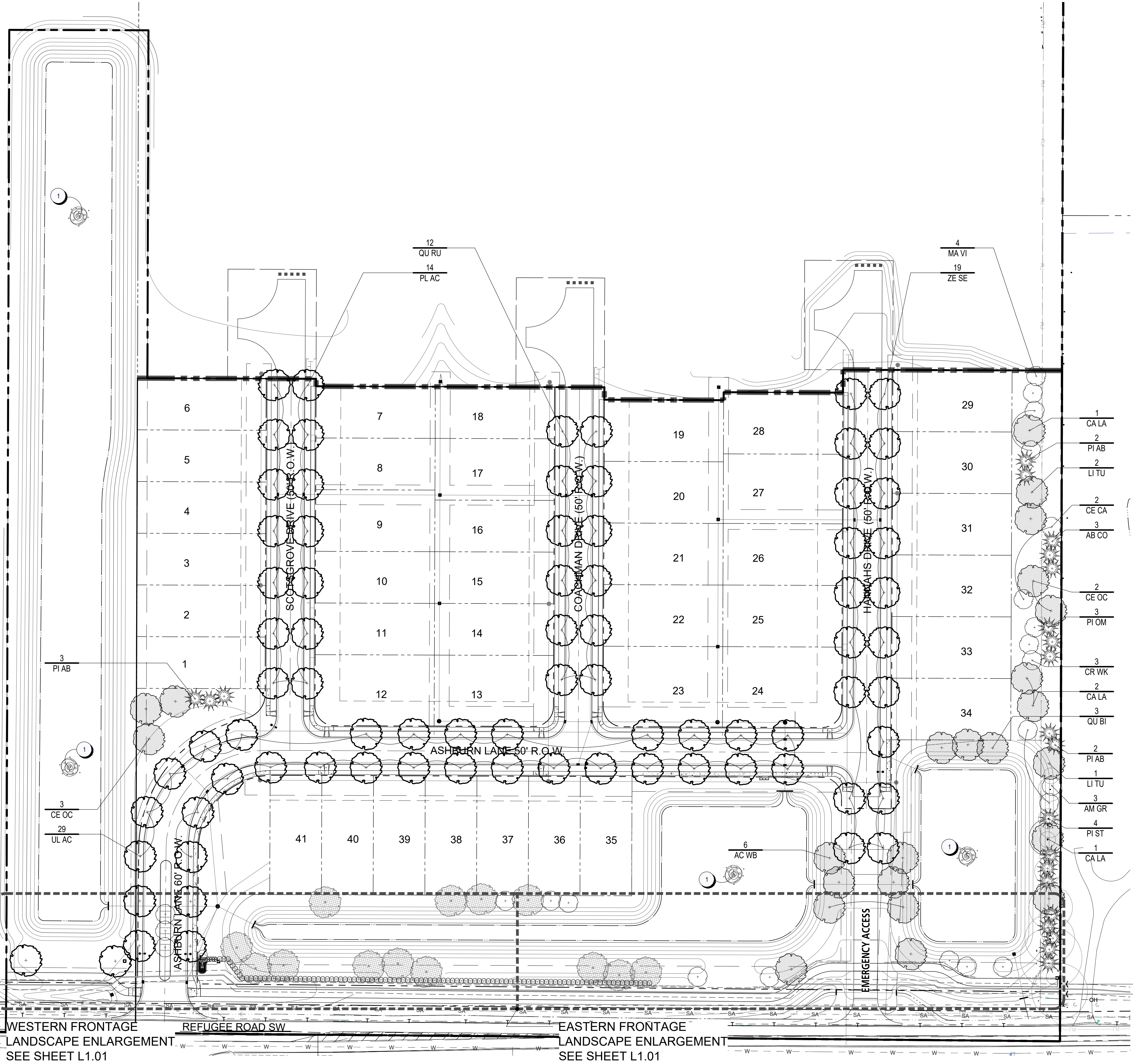
1283.06(2)
SCREENING TREES/SHRUBS

CODED LANDSCAPE NOTES

1. TURF - SOD OR SEED PER OWNER DIRECTION
2. LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH,
POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	FOUNTAIN		FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4670. SEE DETAIL C, SHEET L2.00, AND DETAIL A SHEET L2.01 FOR MORE INFORMATION
2	CROSS BUCK FENCE	C, A L2.00, 2.01	
3	COLUMN	B, C L2.00, 2.01	SEE DETAIL B, SHEET L2.00 AND DETAIL A, SHEET L2.01 FOR MORE INFORMATION
4	ENTRY SIGN	A L2.00	SEE DETAIL A, SHEET L2.00 FOR MORE INFORMATION
5	8" X 8" POST	C L2.00	SEE DETAIL C, SHEET L2.00 FOR MORE INFORMATION

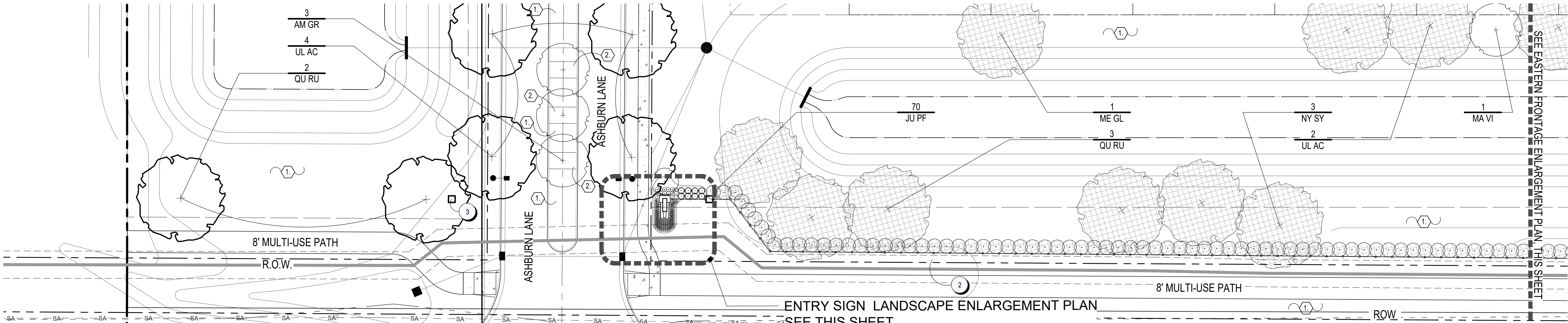


WESTERN FRONTAGE
LANDSCAPE ENLARGEMENT
SEE SHEET L1.01

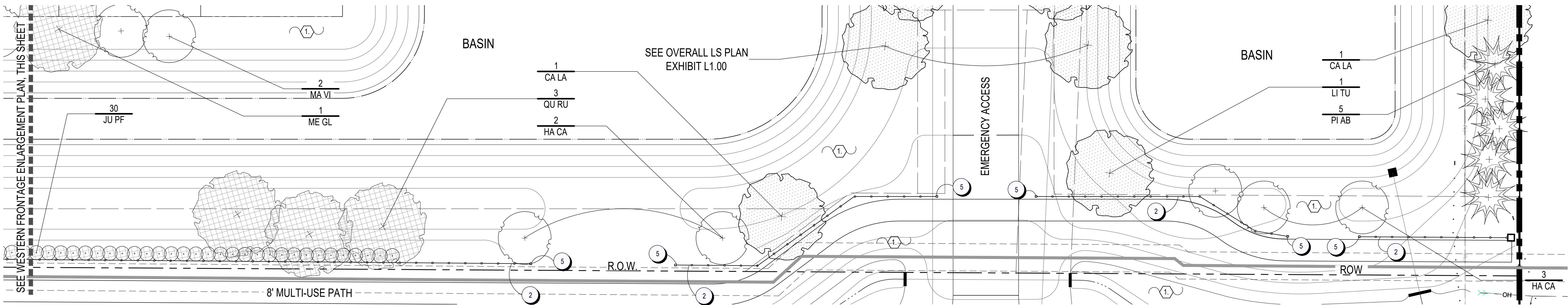
REFUGEE ROAD SW

EASTERN FRONTAGE
LANDSCAPE ENLARGEMENT
SEE SHEET L1.01

10" GAS LINE ESMT



WESTERN FRONTAGE LANDSCAPE ENLARGEMENT PLAN



EASTERN FRONTAGE LANDSCAPE ENLARGEMENT PLAN

PLANT LIST (Contractor is responsible for all plant material shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES						
2	CA LA	Carya laciniosa Shellbark Hickory	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
1	LI TU	Liriodendron Tulipifera Tulip Tree	2.5" CAL.	B&B	AS SHOWN	Replacement Tree
2	ME GL	Metasequoia glyptostroboides Dawn Redwood	2" CAL.	B&B	AS SHOWN	Match Form
3	NY SY	Nyssa sylvatica 'Wildfire' Wildfire Blackgum	2" CAL.	B&B	AS SHOWN	Match Form
8	QU RU	Quercus rubra Red Oak	2" CAL.	B&B	AS SHOWN	Match Form
6	UL AC	Ulmus x 'Morton' Accolade Elm	2" CAL.	B&B	AS SHOWN	Match Form
SMALL / ORNAMENTAL TREES						
3	AM GR	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	1.75" CAL.	B&B	AS SHOWN	Match Form
5	HA CA	Halesia caroliniana Carolina Silverbell	1.75" CAL.	B&B	AS SHOWN	Match Form
3	MA VI	Magnolia virginiana Sweetbay Magnolia	1.75" CAL.	B&B	AS SHOWN	Match Form
EVERGREEN TREES						
5	PI AB	Picea abies Norway Spruce	6' HT.	B&B	PER PLAN	
EVERGREEN SHRUBS						
100	JU PF	Juniperus x pfitzeriana 'Sea Green' Sea Green Juniper	24" HT.	B&B	PER PLAN	
PERENNIALS, GROUND COVERS AND GRASSES						
8	CA KA	Calamagrostis x acutifolia 'Karl Foerster' Karl Foerster Feather Reed Grass	-	#1 CONT.	PER PLAN	
26	CO VE	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis	-	#1 CONT.	PER PLAN	
88	LI BB	Liriope muscari 'Big Blue' Big Blue Liriope	-	#1 CONT.	PER PLAN	
8	NE FA	Nepeta faassenii 'Pursian Blue' Pursian Blue Catmint	-	#1 CONT.	PER PLAN	
7	RU HI	Rudbeckia hirta 'Indian Summer' Indian Summer Black-Eyed Susan	-	#1 CONT.	PER PLAN	

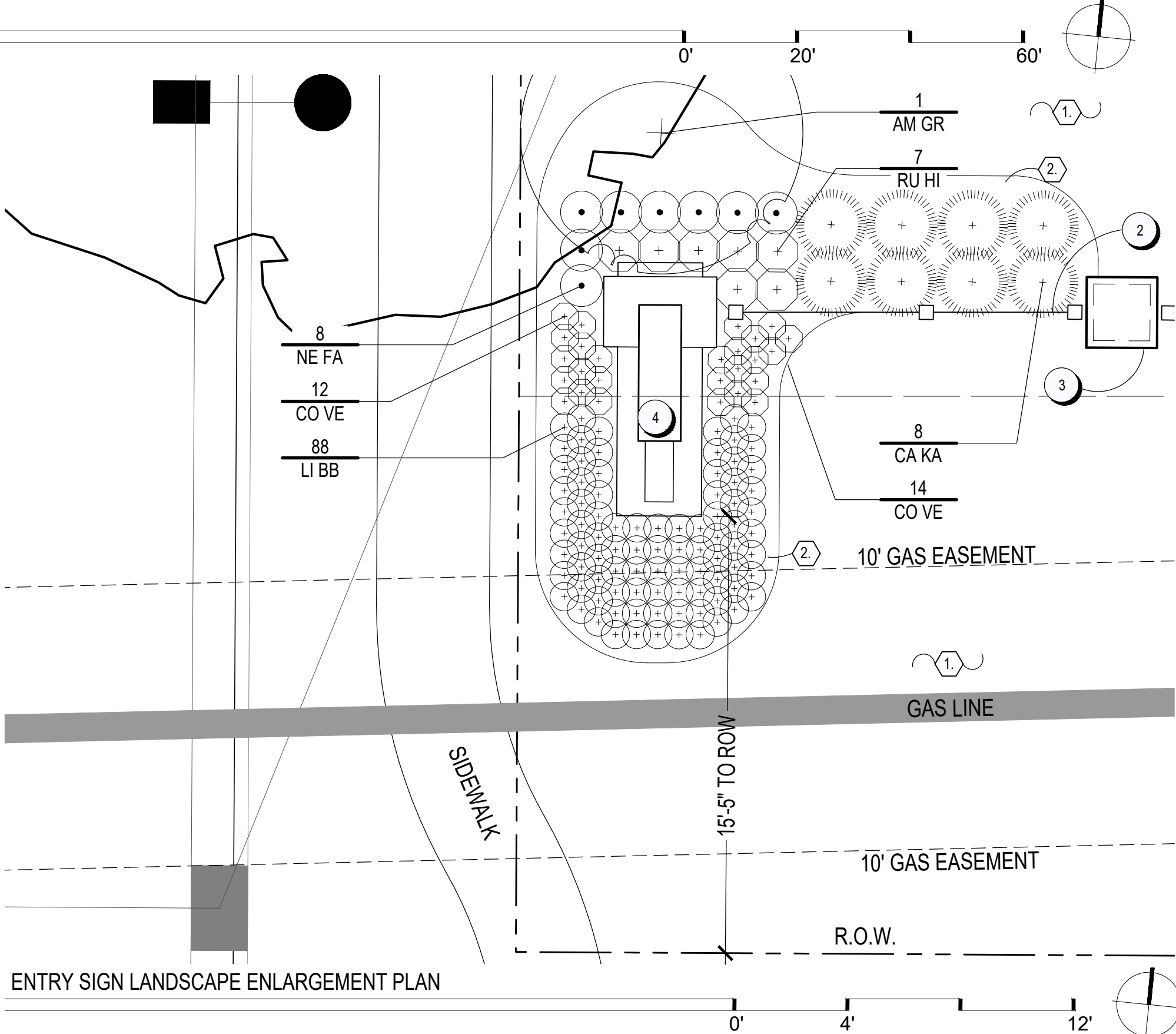
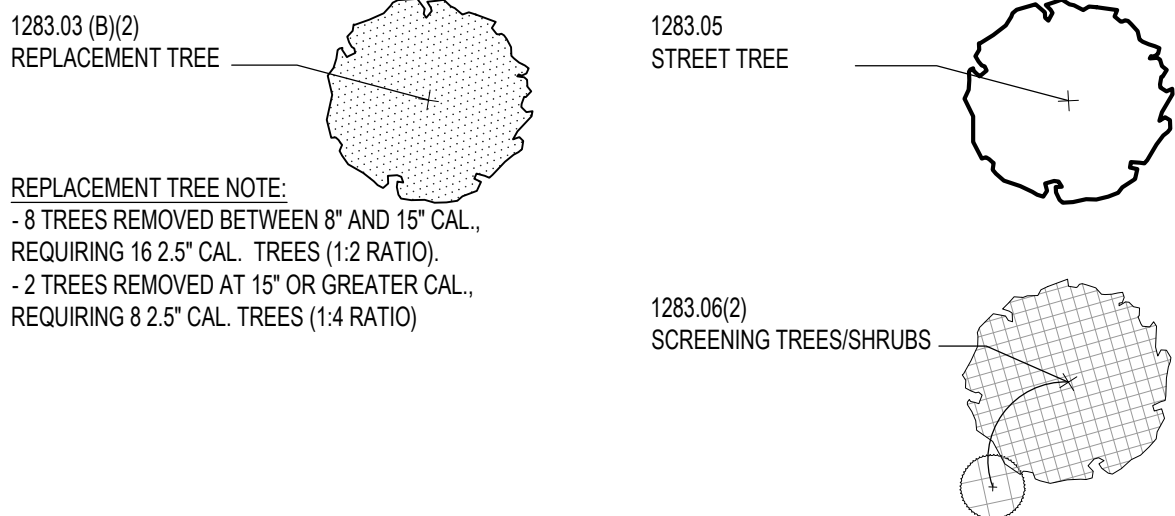
CODED LANDSCAPE NOTES

1. TURF - SOD OR SEED PER OWNER DIRECTION
2. LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

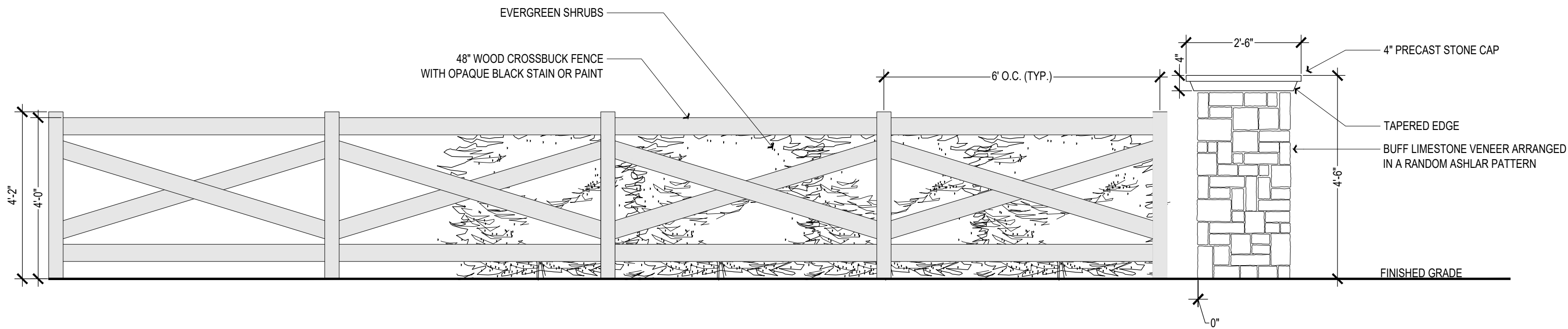
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	FOUNTAIN		FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL.) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4670. SEE DETAIL C, SHEET L2.00, AND DETAIL A SHEET L2.01 FOR MORE INFORMATION
2	CROSS BUCK FENCE	C, A L2.00, 2.01	
3	COLUMN	B, C L2.00, 2.01	SEE DETAIL B, SHEET L2.00 AND DETAIL A, SHEET L2.01 FOR MORE INFORMATION
4	ENTRY SIGN	A L2.00	SEE DETAIL A, SHEET L2.00 FOR MORE INFORMATION
5	8" X 8" POST	C L2.00	SEE DETAIL C, SHEET L2.00 FOR MORE INFORMATION

CODE REQUIRED LANDSCAPE KEY



ENTRY SIGN LANDSCAPE ENLARGEMENT PLAN



A CROSSBUCK FENCE AND STONE PIER ELEVATION
SCALE: 1/2" = 1'-0"

WIRE WITH TREE STRAPS - WIRE IS TWISTED AT THE TIME OF INSTALLATION, BUT NOT TO THE POINT OF A RIGID LINE. THE TREE SUPPORTS SHOULD ALLOW SOME STEM MOVEMENT.

2" X 2" X 8" OPPOSING WOOD STAKES IN LINE WITH PREVAILING SUMMER WIND

STAKING PLAN DETAIL

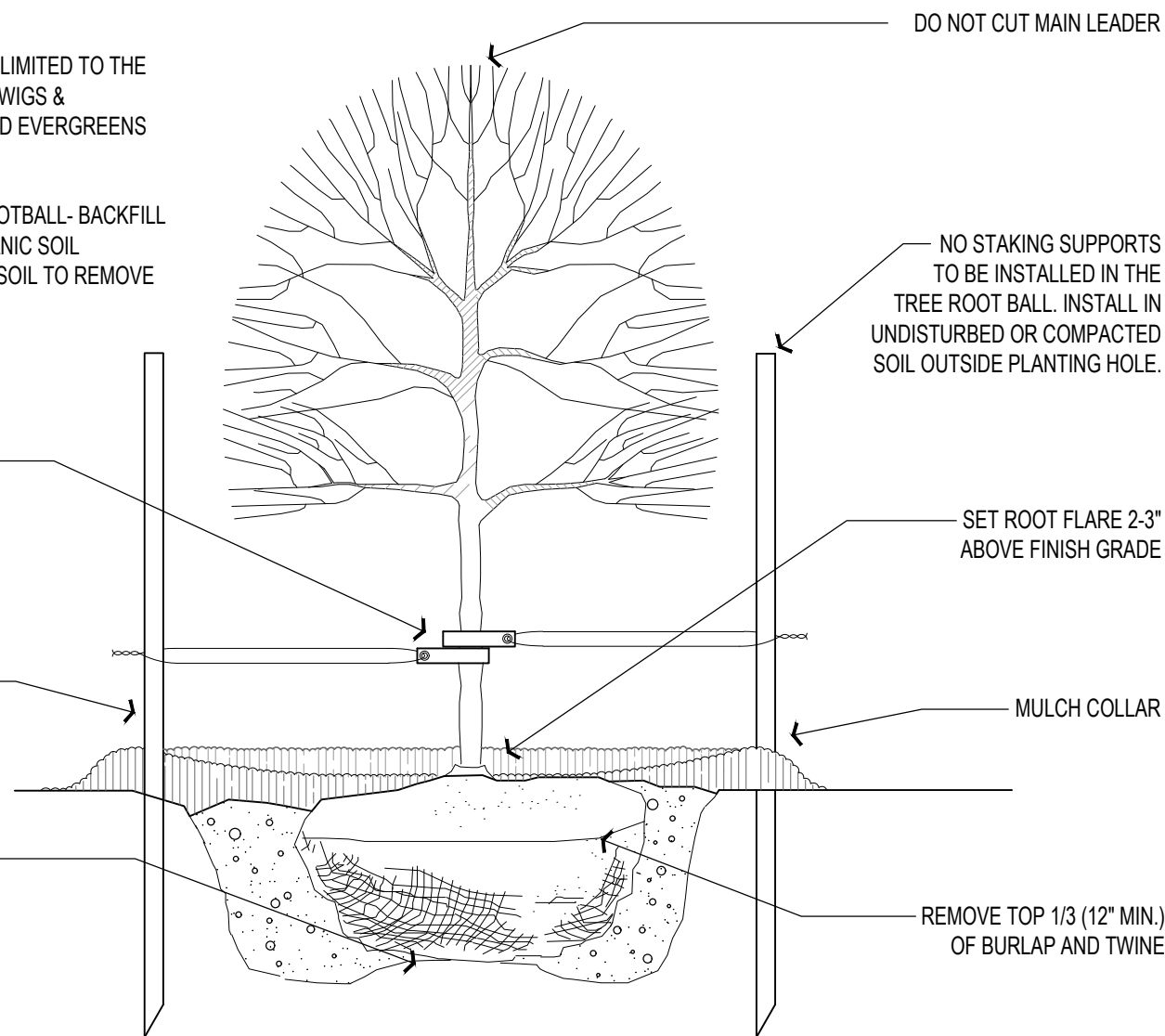
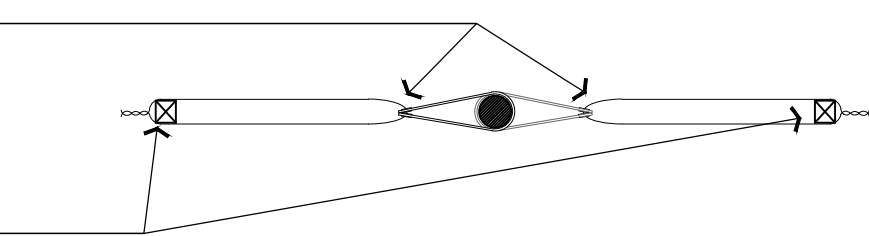
NOTES:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'-3" ABOVE FINISH GRADE

*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH 1/3 OF THE DISTANCE FROM GROUND TO FIRST BRANCH - SEE PLAN DETAIL ABOVE

2" X 2" X 8" WOOD STAKE, - SEE PLAN DETAIL ABOVE

SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL



B DECIDUOUS TREE
SCALE: 1" = 1'-0"

WIRE WITH TREE STRAPS - WIRE IS TWISTED AT THE TIME OF INSTALLATION, BUT NOT TO THE POINT OF A RIGID LINE. THE TREE SUPPORTS SHOULD ALLOW SOME STEM MOVEMENT.

2" X 2" X 8" OPPOSING WOOD STAKES IN LINE WITH PREVAILING SUMMER WIND

STAKING PLAN DETAIL

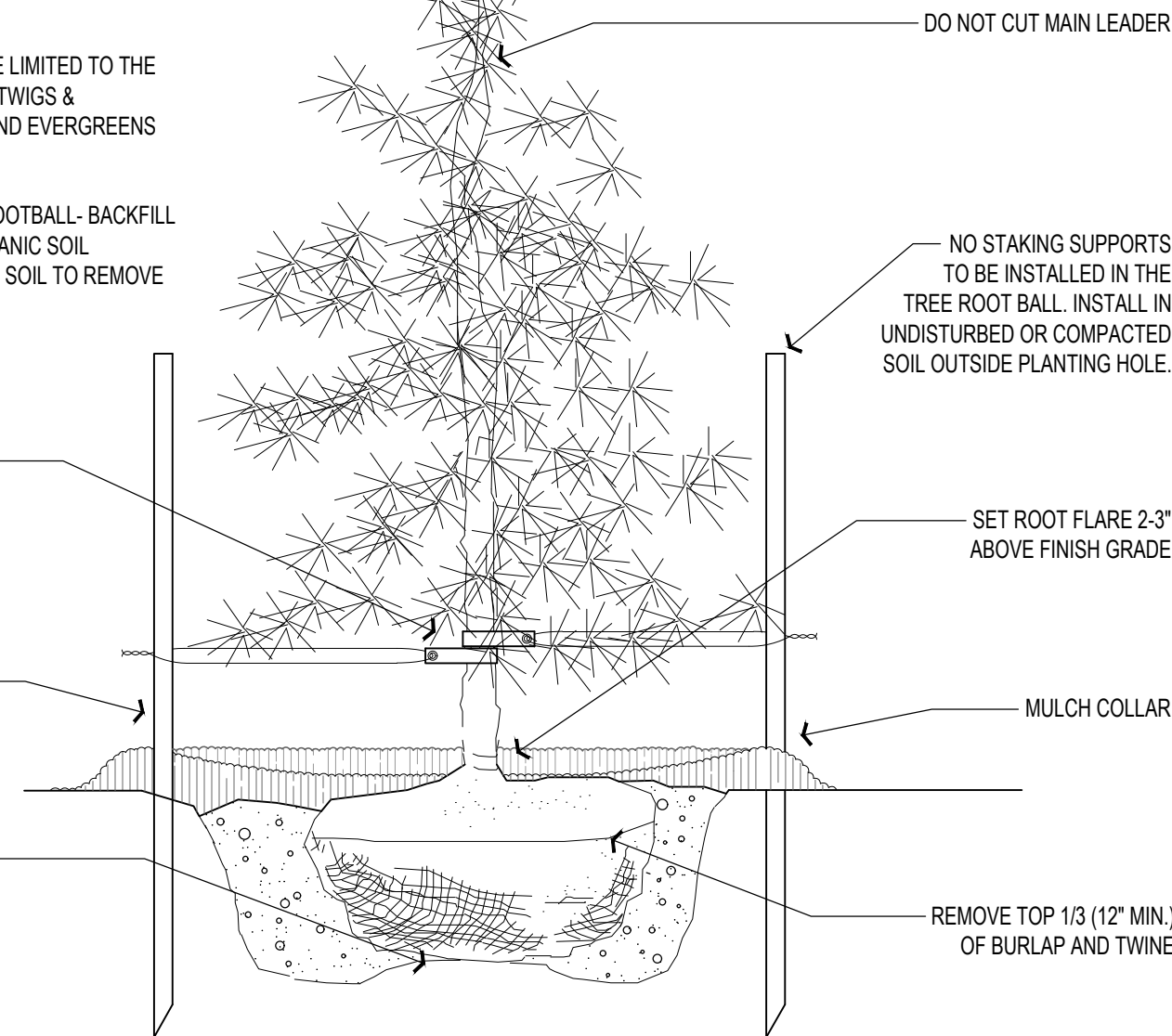
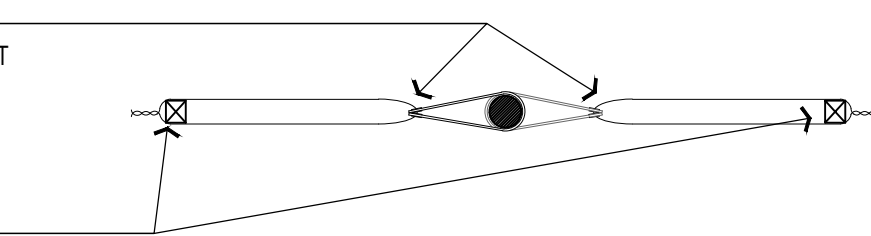
NOTES:
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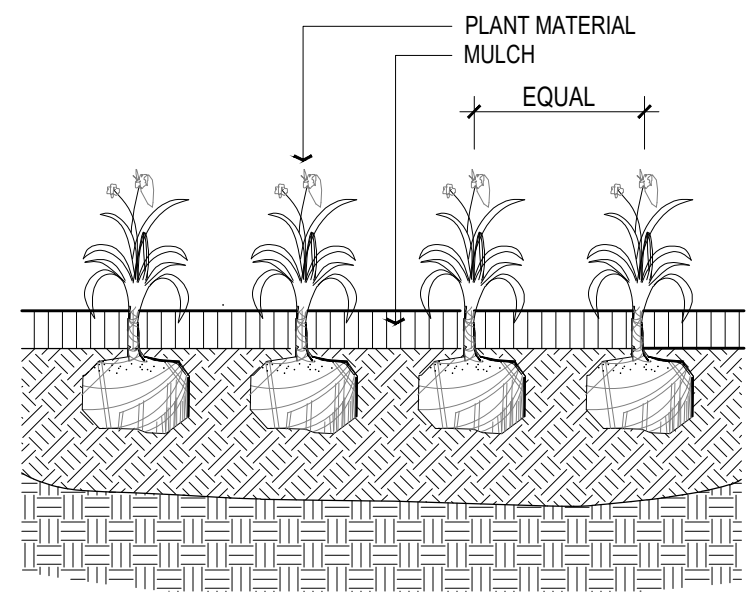
WIRE WITH TREE STRAPS. TWO STRAPS PER TREE, ATTACH AT 1/3 THE HEIGHT OF TREE

2" X 2" X 8" WOOD STAKE, - SEE PLAN DETAIL ABOVE

SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL

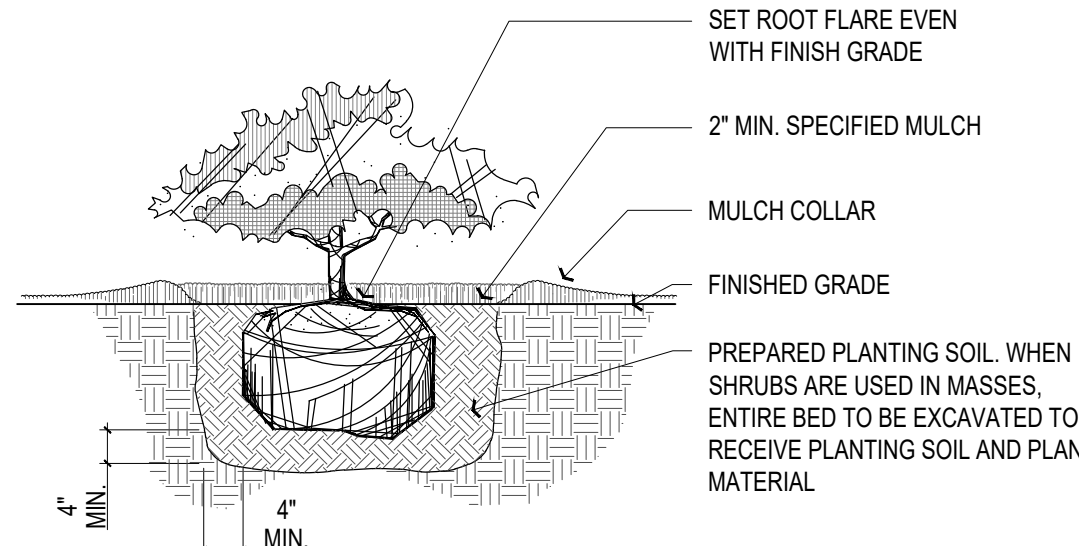


C EVERGREEN TREE
SCALE: 1" = 1'-0"



NOTE: TYPICAL PLANT LAYOUT, SEE PLANT LIST NOTES FOR SPACING

D PERENNIALS & GROUNDCOVER
SCALE: 1" = 1'-0"



E SHRUB
SCALE: 1/2" = 1'-0"

TAB 5
ARCHITECTURAL
EXHIBITS



ROCKFORD
HOMES

Exhibit 'O-1'

AMERICAN FARMHOUSE
SHOWN WITH OPTIONAL DIMENSIONAL SHINGLES

1,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Baldwin

TWO STORY FLOOR PLAN

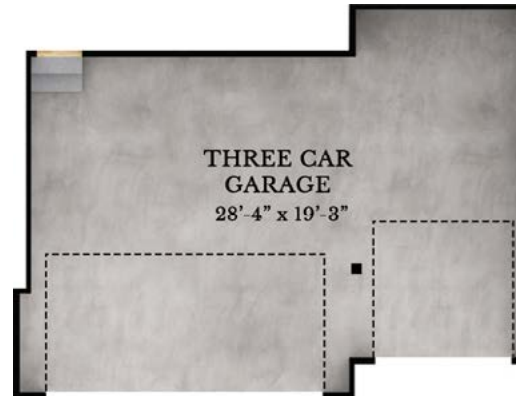
Homestead Series

The Baldwin

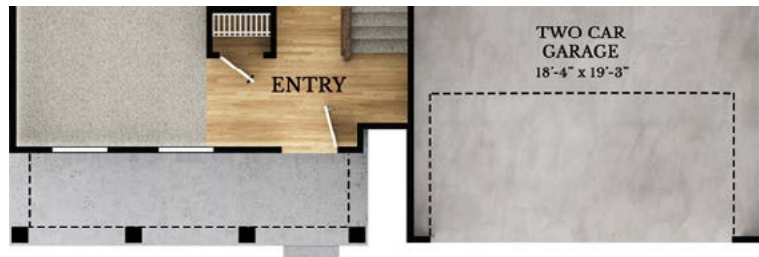
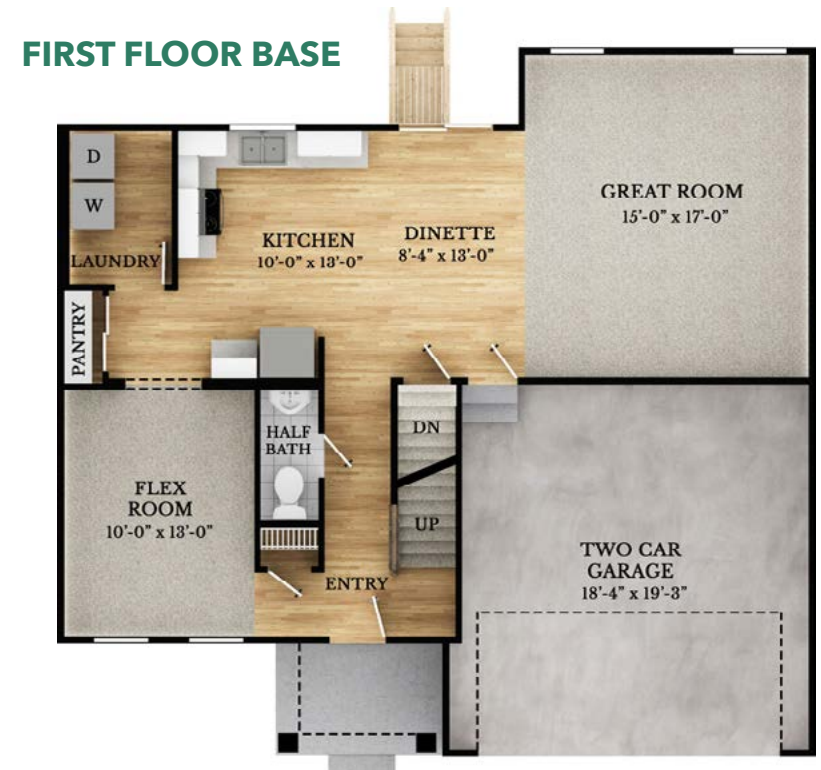
TWO STORY FLOOR PLAN



OPTIONAL MORNING ROOM



OPTIONAL THREE CAR GARAGE



OPTIONAL AMERICAN FARMHOUSE ELEVATION



OPTIONAL COLONIAL REVIVAL ELEVATION

1,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-1'

Homestead Series

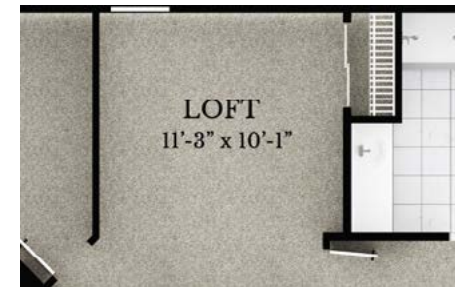
The Baldwin

TWO STORY FLOOR PLAN

SECOND FLOOR BASE



**OPTIONAL DELUXE
OWNER'S BATHROOM**



OPTIONAL LOFT



OPTIONAL COLONIAL REVIVAL ELEVATION



**OPTIONAL AMERICAN FARMHOUSE
ELEVATION**

1,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-1'

Homestead Series

The Baldwin

ADDITIONAL EXTERIOR DESIGNS



AMERICAN CLASSIC

Shown with optional dimensional shingles



COLONIAL REVIVAL

Shown with optional dimensional shingles



Corporate Office - Rockford Homes
999 Polaris Parkway - Suite 200 | Columbus, OH 43240
614-785-0015

RockfordHomes.net

Exhibit 'O-1'

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ROCKFORD
HOMES

Exhibit 'O-2'
CRAFTSMAN

SHOWN WITH OPTIONAL DIMENSIONAL SHINGLES

2,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Bradford

TWO STORY FLOOR PLAN

Homestead Series

The Bradford

TWO STORY FLOOR PLAN



**OPTIONAL AMERICAN
FARMHOUSE ELEVATION**



**OPTIONAL COLONIAL
REVIVAL ELEVATION**



**OPTIONAL SHINGLE
ELEVATION**



**OPTIONAL CRAFTSMAN
ELEVATION**

FIRST FLOOR BASE



**OPTIONAL
BUTLER'S PANTRY**



**OPTIONAL
GREAT ROOM
EXTENSION**



**OPTIONAL
KITCHEN
CABINETS**



**OPTIONAL
FIREPLACE**



**OPTIONAL
BREAKFAST
EXTENSION**



**OPTIONAL
GUEST SUITE**



OPTIONAL THREE CAR GARAGE

2,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

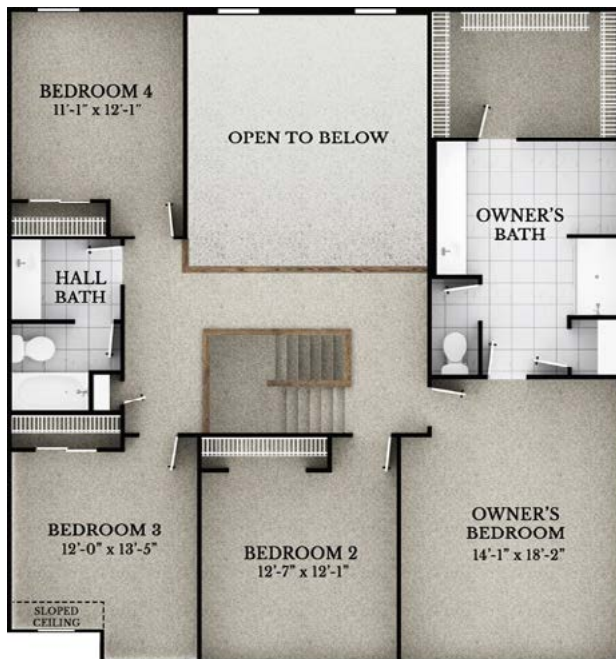
Exhibit 'O-2'

Homestead Series

The Bradford

TWO STORY FLOOR PLAN

SECOND FLOOR BASE



OPTIONAL DELUXE OWNER'S BATHROOM



OPTIONAL FULL BATH



OPTIONAL CRAFTSMAN ELEVATION



OPTIONAL AMERICAN FARMHOUSE ELEVATION



OPTIONAL SHINGLE ELEVATION



OPTIONAL COLONIAL REVIVAL ELEVATION

2,850+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-2'

Homestead Series
The Bradford
ADDITIONAL EXTERIOR DESIGNS



AMERICAN CLASSIC
Shown with optional dimensional shingles



COLONIAL REVIVAL
Shown with optional dimensional shingles



SHINGLE
Shown with optional dimensional shingles



AMERICAN FARMHOUSE
Shown with optional dimensional shingles



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ROCKFORD
HOMES

Exhibit 'O-3'

AMERICAN FARMHOUSE
SHOWN WITH OPTIONAL DIMENSIONAL SHINGLES

2,610+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Brentwood

TWO STORY FLOOR PLAN

Homestead Series

The Brentwood

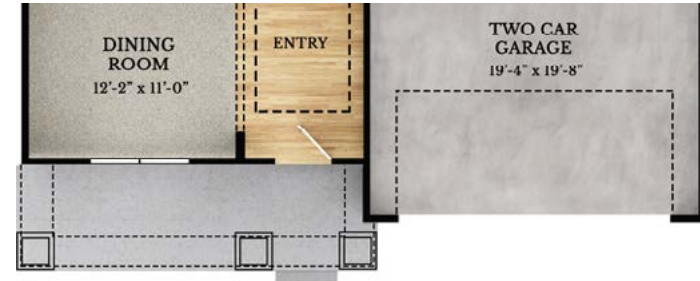
TWO STORY FLOOR PLAN



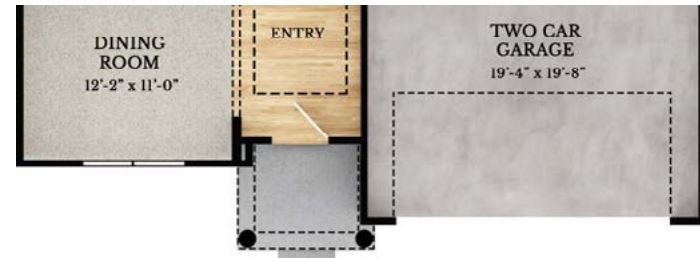
2,610+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE



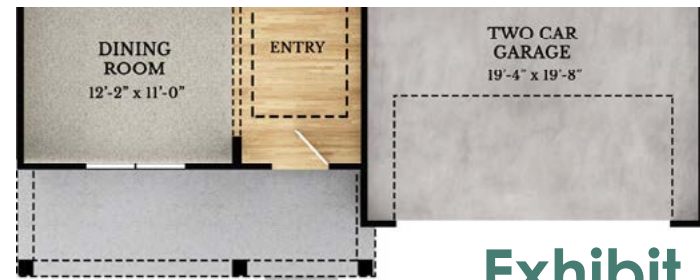
OPTIONAL GREAT ROOM EXTENSION



OPTIONAL CRAFTSMAN ELEVATION



OPTIONAL COLONIAL REVIVAL ELEVATION



OPTIONAL AMERICAN FARMHOUSE ELEVATION

Exhibit 'O-3'

Homestead Series

The Brentwood

TWO STORY FLOOR PLAN

SECOND FLOOR BASE



OPTIONAL COLONIAL REVIVAL ELEVATION



OPTIONAL CRAFTSMAN ELEVATION



OPTIONAL AMERICAN FARMHOUSE ELEVATION

OPTIONAL HALL BATHROOM



OPTIONAL LOFT

OPTIONAL DELUXE OWNER'S BATHROOM



OPTIONAL HALL BATHROOM



OPTIONAL JACK & JILL BATHROOM



2,610+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-3'

Homestead Series

The Brentwood

ADDITIONAL EXTERIOR DESIGNS



AMERICAN CLASSIC
Shown with optional dimensional shingles



COLONIAL REVIVAL
Shown with optional dimensional shingles



CRAFTSMAN
Shown with optional dimensional shingles



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Exhibit 'O-3'

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ROCKFORD
HOMES

Exhibit 'O-4'

AMERICAN FARMHOUSE
SHOWN WITH OPTIONAL DIMENSIONAL SHINGLES

1,980+ SQ. FT. • 3 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Charleston

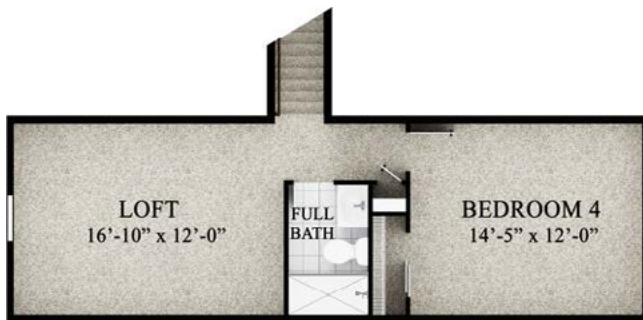
RANCH FLOOR PLAN

Homestead Series

The Charleston

RANCH FLOOR PLAN

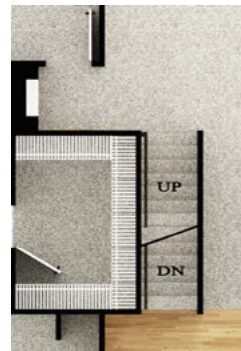
OPTIONAL SECOND FLOOR UPGRADES



OPTIONAL SECOND FLOOR



OPTIONAL BEDROOM 5



STAIRS TO
OPTIONAL
SECOND FLOOR

1,980+ SQ. FT. • 3 BED • 2.5 BATH • 2-CAR GARAGE

BASE FLOORPLAN

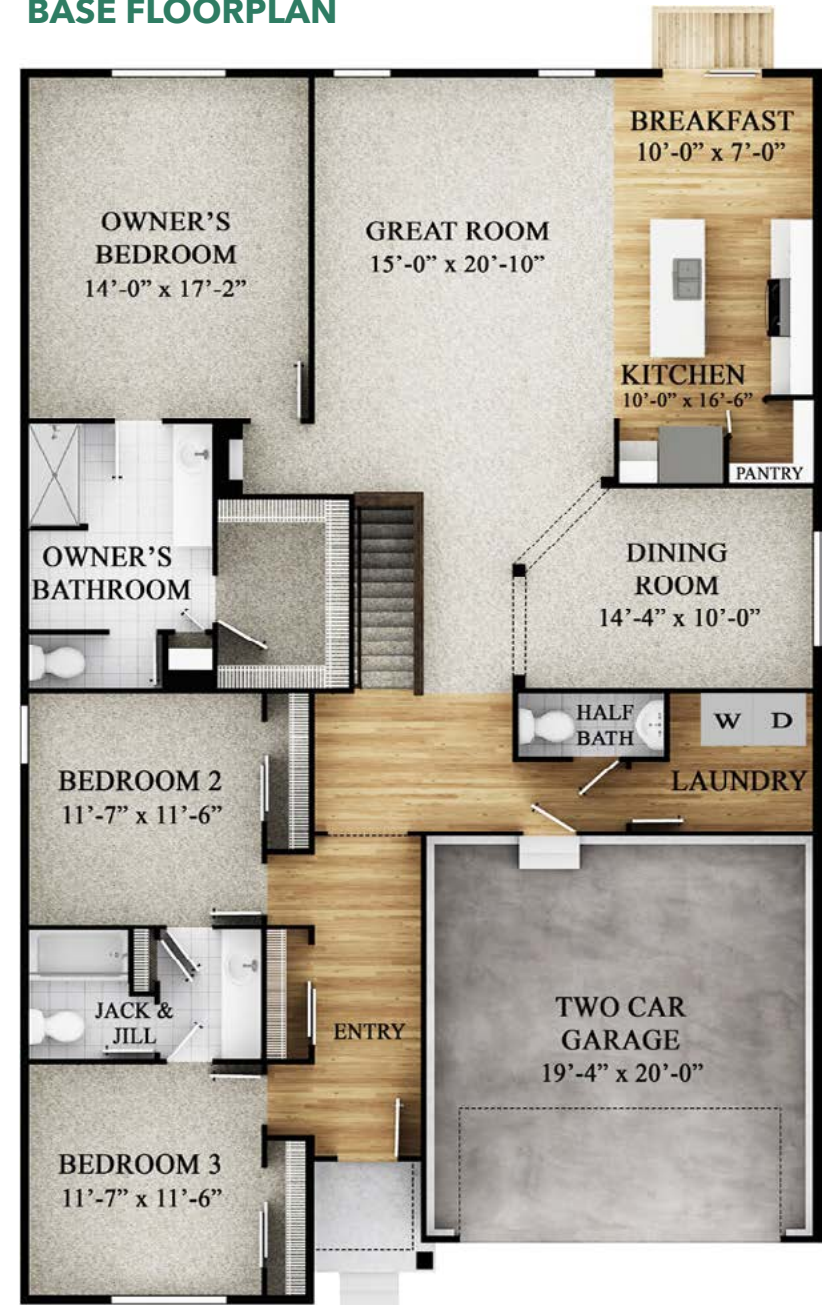


Exhibit 'O-4'

Homestead Series

The Charleston

RANCH FLOOR PLAN

FLOORPLAN UPGRADES



**OPTIONAL DELUXE
OWNER'S BATH**



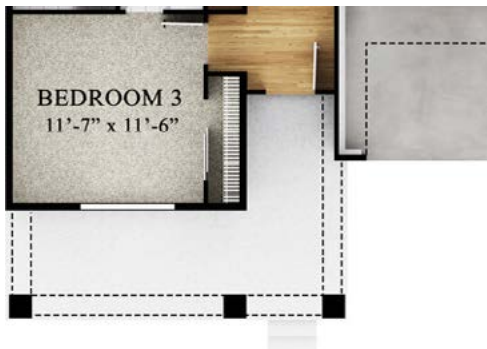
OPTIONAL AMERICAN FARMHOUSE EXTERIOR



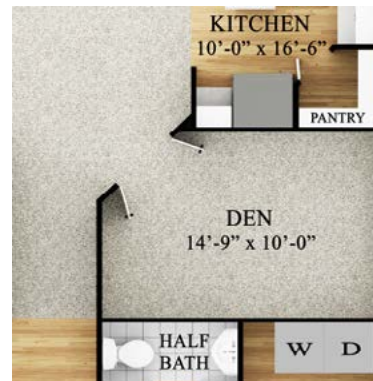
OPTIONAL COLONIAL REVIVAL EXTERIOR



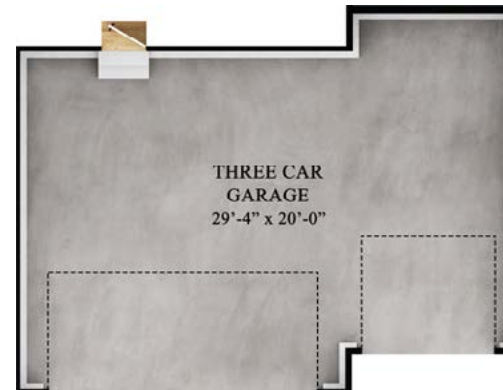
**OPTIONAL
EXTENDED
BREAKFAST AREA**



OPTIONAL CRAFTSMAN EXTERIOR



OPTIONAL DEN



OPTIONAL THREE CAR GARAGE



**OPTIONAL TWO CAR
SIDE LOAD GARAGE**

1,980+ SQ. FT. • 3 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-4'

Homestead Series

The Charleston

ADDITIONAL EXTERIOR DESIGNS



AMERICAN CLASSIC
Shown with optional dimensional shingles



COLONIAL REVIVAL
Shown with optional stone and dimensional shingles



CRAFTSMAN
Shown with optional dimensional shingles



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Exhibit 'O-4'

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ROCKFORD
HOMES

Exhibit 'O-5'

AMERICAN CLASSIC

SHOWN WITH OPTIONAL STONE AND DIMENSIONAL SHINGLES

2,170+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Manchester

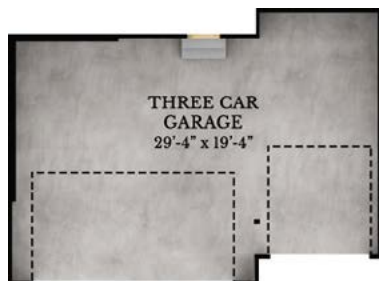
TWO STORY FLOOR PLAN

Homestead Series

The Manchester

TWO STORY FLOOR PLAN

FIRST FLOOR BASE



OPTIONAL THREE CAR GARAGE



OPTIONAL MORNING ROOM/GREAT ROOM EXTENSION



OPTIONAL MORNING ROOM



OPTIONAL GREAT ROOM EXTENSION



OPTIONAL GREAT ROOM EXTENSION



OPTIONAL AMERICAN FARMHOUSE ELEVATION



OPTIONAL CRAFTSMAN ELEVATION



OPTIONAL COLONIAL REVIVAL ELEVATION

2,170+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-5'

Homestead Series

The Manchester

TWO STORY FLOOR PLAN

SECOND FLOOR BASE



OPTIONAL DELUXE
OWNER'S BATH



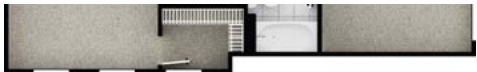
OPTIONAL LOFT



OPTIONAL AMERICAN FARMHOUSE ELEVATION



OPTIONAL COLONIAL REVIVAL ELEVATION



OPTIONAL CRAFTSMAN ELEVATION

2,170+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-5'

Homestead Series

The Manchester

ADDITIONAL EXTERIOR DESIGNS



AMERICAN FARMHOUSE

Shown with optional dimensional shingles



COLONIAL REVIVAL

Shown with optional dimensional shingles



CRAFTSMAN

Shown with optional dimensional shingles



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Exhibit 'O-5'

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ROCKFORD
HOMES

Exhibit 'O-6'

COLONIAL REVIVAL

SHOWN WITH OPTIONAL STONE AND DIMENSIONAL SHINGLES

2,800+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Homestead Series

The Richmond

MULTI-LEVEL

Homestead Series

The Richmond

MULTI-LEVEL



OPTIONAL SHINGLE
ELEVATION



OPTIONAL CRAFTSMAN
ELEVATION



OPTIONAL COLONIAL
REVIVAL ELEVATION



OPTIONAL
FIREPLACE

FIRST FLOOR BASE



OPTIONAL KITCHEN
ISLAND



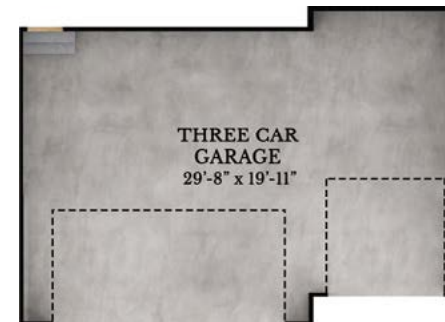
OPTIONAL KITCHEN



OPTIONAL MUD
ROOM SHELF



OPTIONAL MUD
ROOM CLOSET



OPTIONAL THREE CAR GARAGE

2,800+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-6'

Homestead Series

The Richmond

MULTI-LEVEL

SECOND FLOOR BASE



OPTIONAL COLONIAL REVIVAL ELEVATION



OPTIONAL SHINGLE ELEVATION



OPTIONAL CRAFTSMAN ELEVATION



OPTIONAL JACK & JILL BATH



OPTIONAL DELUXE OWNER'S BATH



OPTIONAL LOFT

2,800+ SQ. FT. • 4 BED • 2.5 BATH • 2-CAR GARAGE

Exhibit 'O-6'

Homestead Series

The Richmond

ADDITIONAL EXTERIOR DESIGNS



AMERICAN CLASSIC
Shown with optional dimensional shingles



CRAFTSMAN
Shown with optional dimensional shingles



SHINGLE
Shown with optional dimensional shingles



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Exhibit 'O-6'

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TAB 6
LEGAL
INSTRUMENTS

DEED OF RESTRICTIONS

Rockford Homes, Inc., an Ohio corporation of the City of Columbus, Ohio, the tax mailing address of which is 999 Polaris Parkway, Suite 200, Columbus, Ohio, 43240, for valuable consideration paid, grants with general warranty covenants, to Robert H. Albert, Sr., Trustee ("Grantee") whose tax mailing address is 999 Polaris Parkway, Suite 200, Columbus, Ohio, 43240, the following real estate situated in _____ County, _____ City, Ohio and described as follows:

Being Lots Nos. One (1) through _____), inclusive, of NAME OF SUBDIVISION, as the same are numbered and delineated upon the recorded plat thereof of record in Plat Book _____, Pages _____, in the office of the Recorder, Licking County, Ohio.

Pursuant to a general plan for the protection, benefit and the mutual advantage of all real estate comprising the NAME OF SUBDIVISION the subdivision"), and all of the persons who may now or hereafter become owners ("owner(s)") of any of said lots or parts thereof, and _____ Homeowners Association, Inc. ("Homeowners Association"), an Ohio corporation not for profit, and as a part of the consideration for this conveyance, Grantor executes and delivers this Deed of Restrictions, and Grantee accepts the same, subject to all and each of the following reservations, restrictions, conditions, easement rights, uses and provisions, hereinafter referred to as "restrictions", which are for the mutual benefit and protection of and shall be enforceable by all and any of the present and future owners of said lots described above, and/or the Homeowners Association, their successors and assigns; and Grantee, for himself and his successors and assigns, covenants and agrees to keep and perform each of said restrictions as hereinafter set out, and fully and punctually to observe, comply with and perform and carry out the same.

ARTICLE I

PROTECTIVE COVENANTS AND RESTRICTIONS

1. LAND USE: All lots or combinations or parts thereof shall be used exclusively for residential purposes only and not for any business or trade. However, the sale of a lot or a house by any owner shall not be considered to be a commercial activity as defined herein. No building shall be constructed, altered, placed or permitted to remain on any of the lots, other than one (1) detached single family dwelling not to exceed two (2) stories in height, and private garage for not less than two, or more than three cars.

2. PLAN APPROVAL - STRUCTURE REQUIREMENTS: (a) For the purpose of maintaining specific architectural guidelines and standards for the development of all lots within the subdivision, each owner of a lot shall be required to submit to Grantor, two (2) sets of complete building and site plans with specifications, for the buildings and landscaping intended to be constructed thereon, not less than thirty (30) full business days prior to the commencement of work of any kind. Said building and site plans with specifications, shall set forth the general arrangement of the interior and exterior of the structure, including the color and the texture of the building materials, the type and character of all windows, doors, exterior light fixtures and appurtenant elements, such as decorative walls, chimneys, driveways and walkways, and detail the location of the structure on the lot including setbacks, driveway locations, garage openings, exterior landscape lighting, orientation of the structure to the topography and conformance with the grading and drainage plan. Prior to final approval, a landscape plan with types, size, and location must be submitted and approved.

(b) Each owner covenants that no excavation shall be made, no structures shall be constructed, and no materials shall be stored upon any lot until Grantor has approved said plans and specifications, in writing. If Grantor fails, within thirty (30) days after receipt of said plans and specifications, to either approve or disapprove said plans and specifications, they shall be deemed to have been approved and the requirements herein fulfilled. If Grantor disapproves said plans and specifications, the owner may revise and resubmit said plans and specifications until approval is received. Grantor reserves the right, at its option to repurchase any lot at the original purchase price thereof as evidenced by the closing statement executed at the time of purchase of said lot, if satisfactory plans and specifications for construction for a residence and improvements as aforesaid are not received and approved by Grantor within sixty (60) days following conveyance of title to the owner, or if construction of the residence is not commenced within six (6) months and completed within one (1) year following conveyance of title, or such extension of time as Grantor may, at its sole option, grant. Any plan(s) for improvement(s) to be constructed by Grantor, its successors or assigns, is (are) considered approved without documentation.

(c) Grantor may require submission of samples of materials to be used in the construction of said residence and improvements. Each owner further acknowledges that Grantor shall not be responsible or liable to the owner of a lot desiring to have plans and specifications approved, or to any other owners of lots in the subdivision, by reason of the exercise of Grantor's judgment in approving or disapproving plans submitted to it, nor shall it be liable for any expenses entailed to any owner in the preparation, submission and, if necessary, resubmission of proposed plans and specifications.

3. EXTERIOR ELEVATIONS: The individual exterior elevations of each house shall be finished and compatible with each other.

4. SITE WORK: No tree removal, excavation, construction or other site work which would in any way alter the lot from its present state shall be commenced until the plans and specifications are first approved in writing by Grantor in accordance herewith or until such time as the Homeowners Association and the Design Control Committee, as provided for under Article II, are formed and assume such responsibility as provided for herein. However, Grantor may perform any work upon the lots or do any excavation, construction, site work or tree removal for the purpose of improving lots, including, but not limited to, the construction of utility services and other work deemed necessary or appropriate by a developer in completing the preparation of the subdivision for sale of single family lots.

5. EASEMENTS: Easements for installation and maintenance of utilities, drainage facilities and overlot drainage are reserved over, under and through all areas designated "easements" as shown on the recorded plat and other instruments of record. Within the limits of these easements, the grade specified on the master grading plan must be complied with and no structure, planting or other materials shall be placed or permitted to remain which may damage or interfere with the installation, operation or maintenance of utilities, or which may change the direction or flow of drainage channels in the easements or which may obstruct or retard the flow of water through drainage channels in the easements. In the event of a dispute as to compliance or non-compliance with the master grading plan for the subdivision, the determination of the Pataskala Engineer will be final.

6. FLOOR AREA: No dwelling shall be constructed on any lot unless the area of the main structure, exclusive of open porches, basements and garages, is not less than 1,400 square feet for a one-story dwelling, not less than 1,600 square feet for a one and one-half story dwelling and 1,600 square feet for a two story dwelling.

7. EXTERIOR COMPLETION: Exterior construction of all buildings shall be completed not later than ten (10) months after excavation has begun and shall be in accordance with the approved plans and specifications, and landscaping shall be completed within six (6) months after completion of the exterior construction. All lawn or yard areas on all lots, with the exception of areas to be landscaped, shall be fully sodded or seeded.

8. SET BACK AREAS: No building shall be located on any lot nearer to the side street lines than the minimum building setback lines shown on the recorded plat. For purpose of this covenant, eaves and steps shall not be considered as a part of a building provided, however, that this shall not be construed to permit any part of the building on a lot to encroach upon any other lot. No portion of any lot between the building setback lines and the street shall be used for any purpose other than that of a lawn. No unsightly growths or unsightly objects shall be allowed to be placed or permitted to remain anywhere within such areas of the lots. Nothing herein contained shall be construed so as to permit a violation of any applicable law, ordinance or governmental regulation.

9. FENCES: All fences to be installed on any lot in the subdivision shall be subject to the following restrictions:

- A. No 72 inch stockade or other solid fences shall be permitted.
- B. No chain link fences shall be permitted.
- C. Yard fencing shall strictly comply with the yard fence exhibit in Exhibit "A"
- D. Notwithstanding the above, a lot owner may install a fence around an in-ground swimming pool and pool deck if and only if said fence is in accordance with applicable government regulations and has been approved by Grantor or its nominee in accordance with paragraph 2 hereof and complies with the design in Exhibit "A", pool fence. The pool fence shall be black aluminum.
- E. Notwithstanding the above, any fencing which complies with all provisions set forth in these restrictions may be installed without prior submission to Grantor for approval.
- F. Fences installed by Grantor or the Association within any common area or landscape or entry easement area shall not be subject to the provisions above, and Grantor or the Association shall have the right to maintain or replace such fencing.

10. DRIVEWAYS: Driveways shall be constructed and completed with the residence and shall be of asphalt, concrete, or pavers in compliance with zoning regulations. All drive openings to be cut, not removed and replaced.

11. TEMPORARY STRUCTURES/ OUTBUILDINGS: No structure of a temporary character such as trailers, basements, tents, shacks, garages, barns or other outbuildings shall be used at any time as a residence, either temporarily or permanently. No trucks, commercial vehicles or trailers shall be parked or stored in the subdivision on a regular or ongoing basis. Attractive, non-metal yard storage buildings for gardening use are permitted upon approval of Grantor, in accordance with these restrictions. Nothing contained in this section shall prohibit Grantor's use of a construction trailer to be used as a field office and for related purposes, such as storage, while Grantor is constructing houses within the subdivision.

12. DEVELOPMENT AND SALES ACTIVITIES: Notwithstanding any provisions of the restrictions, Grantor or its successors or assigns, may perform activities within the subdivision of any nature for the completion of the subdivision and the marketing of lots in the subdivision. Grantor may, maintain temporary development and sales locations and offices, including but not limited to, model homes, trailers or other structures. If a developer or builder, other than Grantor, does not own any lots in the subdivision, other than a lot on which a trailer, garage, model home or other structure is located, sales activities from such location shall discontinue. In any event, the use of such development and sales locations and offices shall be terminated thirty (30) days after the sale of the last lot.

13. SIGNS: No billboard, sign or advertising device, other than one sign advertising professional services, or a "For Sale" or a "For Rent" sign, shall be erected, placed or allowed to remain on any of the lots or reserve areas. Signs advertising professional services shall not exceed one (1) square foot in size and other signs may not exceed six (6) square feet in size. Contractors' signs announcing the names of the contractors participating in the improvement of the premises may be displayed upon the lots, but these shall not exceed six (6) square feet. Contractors' signs shall not be located closer to the street than ten (10) feet in front of the building setback line shown on the recorded plat. Temporary signs which are displayed for less than forty-eight (48) hours and not redisplayed at least for one month may be displayed subject to size and location restrictions described above. Nothing contained within this section shall prohibit Grantor, its successors or assigns, from installing and maintaining marketing signs within the subdivision which advertise the development and the sale of lots or homes.

14. EXCAVATIONS: The finished grade of any lot or lots or parts thereof shall comply with the finished grading and drainage plan as set forth in the approved engineering plans for the subdivision, subject only to modification by the City of Pataskala Engineer or Grantor. Deviations from the requirements of the approved subdivision grading plan are in no way permitted without the approval of the City of Pataskala Engineer or Grantor. The approved grading plan is binding on all lots in the subdivision. Erosion and its effects in respect to lots are not the responsibility of Grantor.

15. BUILDER APPROVAL: All general contractors and builders must be approved in writing by Grantor before the start of construction.

16. LIVESTOCK AND POULTRY: No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot or parts thereof, except that dogs, cats or other domestic household pets may be kept in reasonable numbers so as not to cause a nuisance or disturbance to others, provided that they are not kept, bred or maintained for any commercial purposes, and that they are not permitted to run loose. No dog runs or kennels are permitted.

17. MAINTENANCE: No lot, lots, or parts thereof shall be used or maintained for the dumping or storage of rubbish, trash, garbage, brush or other waste materials, all of which shall be kept in a clean and sanitary condition. There shall be no dumping or dirt storage on any lots.

18. SATELLITE DISHES OR RADIO/TV ANTENNAS: No satellite dishes shall be used or erected, either temporarily or permanently, on any lot, which exceed twenty-four (24) inches in diameter, none of which shall be placed in the front or along the sides of any house. No radio or TV antennas shall be used or erected, either temporarily or permanently.

19. CLOTHES LINES AND HANGING DEVICES: Clothes, diapers, towels, bedding, rugs, draperies or other similar articles may not be hung out.

20. EXTERIOR DISPLAYS: Nothing shall be caused or permitted to be hung, displayed, or stored on the outside of windows, including window air conditioners, or placed on the outside walls of a building or displayed on the patios, or otherwise outside of the residence, and no sign, awning, canopy, shutter or any other device, ornament, or object shall be affixed to or placed upon the exterior walls, roof, or exterior patio wall that has a deleterious effect upon any other lot except for model homes sales activities.

21. PARKING: No truck, trailer, boat, camper, recreational vehicle, commercial vehicle or other vehicle, weather operative or not, shall be parked or stored on the public street in front of any lot or on any lot, unless it is in a garage or other vehicle enclosure out of view from the street and abutting properties; provided, however, that nothing herein shall prohibit the occasional, non-recurring, temporary parking of

such truck, trailer, boat, camper, recreational vehicle or commercial vehicle in the subdivision for a period not to exceed forty-eight (48) hours in any period of thirty (30) days. Notwithstanding the foregoing, an operable automobile which is in good condition and driven regularly by a person residing on the Lot, may be parked in a driveway on a regular basis if there is insufficient space in the garage for storage of such vehicle due occupancy of the garage space by other regularly driven vehicles.

22. SWIMMING POOLS: No above ground swimming pools shall be permitted on any lot except that this Section 22 shall not be intended to prohibit the installation of a hot tub or sauna.

23. All residential lots in the _____ subdivision are required to connect to the public water and sewer system. No wells or septic systems are permitted within the subdivision.

ARTICLE II

HOMEOWNERS ASSOCIATION

1. HOMEOWNERS ASSOCIATION: The _____ Homeowners Association, Inc. ("Homeowners Association") has been or will be formed for the purpose of providing for matters of concern to the owners of lots in the subdivision. The membership of the Homeowners Association shall be comprised of the record owners of lots in the subdivision who shall each have one vote for each lot, on all matters requiring a vote as set forth herein or in the Articles of Incorporation, Code of Regulations or By-Laws of the Homeowners Association. Grantor shall be a member of the Homeowners Association so long as it owns one or more of said lots. Upon transfer of 90% of the total platted lots in all phases of the subdivision, the Homeowners Association shall obtain control and assume responsibility for maintenance of entryways, open space and common and reserve areas, not done by City of Pataskala or others. All areas designated as open space, reserve or common areas which are owned by the Homeowners Association shall be continuously maintained by the Homeowners Association. The actions of the Homeowners Association shall be made by the votes of a simple majority of the votes of the lot owners. Joint, common or other multiple ownership of any of the lots shall not entitle the owners thereof to more than the number of votes which would be authorized if said lot were held in one name.

The Homeowners Association shall have the authority to assess each lot an annual fee as set forth hereinafter under Article III for maintenance of the common open space areas as well as other expenses of the Homeowners Association. Should the Association fail to maintain the designated areas in a manner acceptable to City of Pataskala, the City of Pataskala shall have the right, but not the obligation, to maintain such areas and assess the owner of each lot in the subdivision through the process referred to in Article III, including the right to file a lien for collection of delinquent assessments. City of Pataskala may assess such fees in an amount enough to cover the cost of any required maintenance in addition to the cost for administration thereof.

2. DESIGN CONTROL COMMITTEE: The Homeowners Association shall establish a Design Control Committee ("Committee") for the purpose of establishing, maintaining and preserving specific architectural guidelines and standards to carry out the intent of these restrictions with respect to all or any portion of the lots or buildings in the subdivision, and enforcing the applicable provisions of these restrictions. The Committee shall exercise its best judgment to see that all improvements in the subdivision conform to these restrictions. The actions of the Committee, through its approval or disapproval of plans and other information submitted pursuant hereto, shall be conclusive and binding on all interested parties.

No improvement, change, construction, addition, excavation, landscaping, tree removal, or other work or action which in any way alters the exterior appearance of the subdivision from its theretofore natural or improved state shall be commenced or continued until the same shall have first been approved in writing by the Committee. Approval shall be requested by submission to the Committee of plans and specifications, in duplicate, showing the following:

- (a) Existing and proposed land contours and grades;
- (b) All landscaping, including existing and proposed tree locations and planting areas, and species thereof, mailboxes, and exterior ornamentation;
- (c) Exterior lighting plans. No yard posts taller than 8 feet, mercury lights, barn yard lighting or area lighting shall be allowed. Architectural lighting on the house shall be compatible with building design;
- (d) Walls, fencing and screening;
- (e) Patios, decks, pools and porches;

(f) Samples of materials to be used to the extent requested by the Committee; and

(g) Such other information, data, and drawings as may be reasonably requested by the Committee.

Approval shall be based, among other things, upon conformity and harmony of the proposed plans with the design standards and other structures in the subdivision, the effect of the location and use of improvements on neighboring properties, and conformity of the plans and specifications to the purposes and general intent of these restrictions.

If the Committee fails either to approve or disapprove such plans and specifications within thirty (30) days after the same have been delivered to the Committee either personally or by certified mail, it shall be presumed that the Committee has approved said plans and specifications.

Neither the Committee, nor any member thereof, nor any of their respective heirs, personal representatives, successors or assigns, shall be liable to any one submitting plans for approval by reason of mistakes in judgment, negligence, or nonfeasance arising out of or in connection with the approval or failure to approve any plans. Every person and entity who submits plans to the Committee agrees that by submission of such plans, he/she/it will not bring any action or suit against the Committee or any of its members to recover any damage.

An owner of any lot in the subdivision shall cause any improvement to be completed in a workmanlike manner. Upon completion of any such improvement, the person or entity who completed the same may request in writing that the Committee issue a certificate certifying that said improvement is completed and is in compliance with all provisions of this Article II, which certificate shall be issued in a timely manner, and which certificate shall be conclusive evidence that said improvement is completed and in compliance with all provisions of this Article. The Committee may make a reasonable charge for the issuance of such certificates, which must be paid at the time that the request for such certificate is made. As provided in Article I Section 2 Item (b), the Committee shall have no authority as to plan approval for original new home construction by Grantor, its successors or assigns, on any lot in the subdivision at any time.

ARTICLE III

Section 1. The Reserve, Common or Open Space areas upon any recorded plat of the _____ subdivision, (hereinafter referred to as the "Open Space Areas") shall be owned and maintained by the Homeowners' Association, unless specified on the plat to be owned by the City of Pataskala, referred to in Article II hereof. It is the desire of Grantor that the Open Space Areas be preserved in the state as constructed by Grantor; therefore, in furtherance of this objective the Open Space Areas are hereby designated No-Build Zones.

Section 2. The Homeowners Association shall: (a) own in fee simple and mow and otherwise maintain the Open Space Areas; (b) provide and pay for insurance in such types and amounts as the Homeowners Association shall determine with respect thereto; (c) pay all real estate taxes, assessments and the like pertaining to the Open Space Areas; (d) install and maintain signs as described or deemed necessary in and around the Open Space Areas, (e) establish rules and regulations pertaining to the use of the Open Space Areas; (f) construct, repair, reconstruct and maintain entry monument signs and adjacent landscaping, fencing and sprinkler system in the Entry Areas and establish, receive, construct, repair, reconstruct and maintain such common areas or common area improvements as may be established in future sections of the subdivision; and (g) to take such other action as the Association is authorized to take pursuant to its Articles of Incorporation and By-Laws, or this Deed.

Section 3. Each owner of any lot, by acceptance of a deed or other conveyance thereto, whether or not it shall be so expressed in such deed or conveyance, is deemed to covenant and agree to pay to the Association an annual assessment for Common Expenses, (as hereinafter defined and special assessments, as hereinafter provided). For the purposes hereof, the term "Common Expenses" shall mean the expenses and costs incurred by the Association in performing the rights, duties and obligations set forth herein and in its Articles of Incorporation or By-Laws.

Section 4. In addition to the annual assessments authorized above, the Homeowners Association may levy in any assessment year a special assessment ("Special Assessment") applicable to that year only for the purpose of defraying, in whole or in part, the cost of any repair of major maintenance related to the Open Space Areas, Entry Areas or any other area or items for which the Homeowners Association owns or is obligated to maintain.

Section 5. The annual assessments for Common Expenses shall not commence as to Homeowners Association members prior to _____. The Homeowners Association shall fix the amount of annual assessments for Common Expenses against each lot not later than December 1 of each calendar year for the following calendar year. Written notice of the annual assessment for Common Expenses shall be sent

to every owner subject hereto. Unless otherwise established by the Association, annual assessments for Common Expenses shall be collected on an annual basis. The due date for special assessments shall be established by the Homeowners Association. Notwithstanding the foregoing to the contrary: prior to the date that Grantor relinquishes its right to appoint members of the Board as set forth in the By-Laws and responsibility of the maintenance of reserve and common areas is turned over to the Homeowners Association, Grantor may elect to pay the Annual, Special or Lot Assessments applicable to Lots owned by Grantor or in lieu thereof, not pay such Annual Assessments, and to instead pay any deficit incurred in operating the Association, determined annually.

Section 6. All sums assessed to any Homeowners Association member pursuant hereto, including any lots owned by the Grantor, together with interest and all costs and expenses of collection, including reasonable attorneys fees, shall be secured by a continuing lien on such lot in favor of the Homeowners Association, or City of Pataskala as needed as previously provided under Article II.

Section 7. Any assessment not paid within thirty (30) days after the due date shall bear interest from the due date at the rate of twelve percent (12%) per annum. The Homeowners Association or City of Pataskala may bring an action at law against the owner personally obligated to pay the same, or foreclose the lien against the lot. No owner may waive or otherwise escape liability for the assessments provided for herein by non-use of the Open Space Areas, or abandonment of his lot.

Section 8. The lien for sums assessed pursuant hereto may be enforced by judicial foreclosure by the Homeowners Association or City of Pataskala in the same manner in which mortgages on real property may be foreclosed in Ohio. In any such foreclosure, the owner shall be required to pay all costs and expenses of foreclosure, including reasonable attorney fees. All such costs and expenses shall be secured by the lien being foreclosed. The owner shall also be required to pay to the Homeowners Association or City of Pataskala any assessments against the lot which shall become due during the period of foreclosure, and the same shall be secured by the lien foreclosed and accounted for as of the date the owner's title is divested by foreclosure. The Homeowners Association or City of Pataskala shall have the right and power to bid at the foreclosure or other legal sale to acquire the lot foreclosed, and thereafter to hold, convey, lease, rent, encumber, use and otherwise deal with the same as the owner thereof.

Section 9. The lien for the assessments provided for herein shall be subordinate to the lien of any first mortgage which is given to or held by a bank, savings and loan association, FNMA, GNMA, insurance company, mortgage company or other institutional lender, or which is guaranteed or insured by the FHA or VA. The sale or transfer of any lot pursuant to foreclosure of such a first mortgage or any proceeding in lieu thereof shall extinguish the lien of such assessments as to payments which become due prior to such sale or transfer. No sale or transfer shall relieve such lot from liability for any assessments which thereafter become due or from the lien thereof. The Homeowners Association shall, upon written request, report to any such first mortgagee of an Homeowners Association member's lot, any assessments remaining unpaid for a period longer than thirty (30) days after the same shall have become due, and shall give such first mortgagee a period of thirty (30) days in which to cure such delinquency before instituting foreclosure proceedings against the lot; provided, however, that such first mortgagee shall have furnished the Homeowners Association written notice of the existence of its mortgage, which notice shall designate the lot encumbered by a proper legal description and shall state the address to which notices pursuant to this paragraph are to be given. Any such first mortgagee holding a lien on a lot may pay, but shall not be required to pay, any amounts secured by the lien created this Article.

Section 10. Every Owner of a lot in the subdivision shall have a right and non-exclusive easement of enjoyment in and to the Open Space Areas which shall pass with the title to every lot in the subdivision, subject to the following provisions: (a) the right of the Homeowners Association, from time to time, in accordance with its by-laws to establish, modify, amend and rescind reasonable rules and regulations regarding use of the Open Space Areas; (b) the right of the Homeowners Association to suspend the voting rights and right to the use of the Open Space Areas by a lot owner for any period during which any assessment levied under this deed against the lot remains unpaid, and, for a period not to exceed sixty (60) days for any infraction of its published rules and regulations; and (c) the right of the Homeowners Association to otherwise deal with the Open Space Areas as provided by its Articles of Incorporation.

Any Homeowners Association member may delegate, in accordance with the By-Laws, the right of enjoyment to the Open Space Areas or Entry Areas to the members of his family, his tenants or to contract purchasers provided the foregoing reside at the Homeowners Association member's lot. No damage to or waste of the Open Space Areas or Entry Areas or any part thereof shall be committed by any lot owner or any tenant or invitee of any lot owner. No noxious, destructive or offensive activity shall be permitted in the Open Space Areas, Entry Areas or any part thereof, nor shall anything be done thereon which may be or may become an unreasonably annoyance or nuisance to any other owner. No lot owner may erect any improvement or structure of any kind in the Open Space Areas or Entry Easement Areas.

Section 11. At any time after the formation of the Homeowners Association, any Open Space Areas may be conveyed to the City of Pataskala; provided that said conveyance shall have the agreement of a majority of the total voted of the Homeowners Association members at a meeting duly called for this purpose, and agreed to by the City of Pataskala.

Section 12. The Homeowner Association shall be responsible for the stormwater facilities and maintenance as outlined in the attached City of Pataskala, Stormwater Facilities Maintenance Agreement, Exhibit C.

ARTICLE IV

GENERAL PROVISIONS

1. VIOLATION OF COVENANTS: It shall be lawful for any owner of a lot in the subdivision or the Homeowner's Association to prosecute any proceedings at law or in equity against a person or persons violating or attempting to violate any of the covenants herein, either to prevent him/her/it from doing so or to recover damages. Failure by any party to enforce any covenant, restriction, or agreement herein shall in no event be deemed a waiver of the right to take such action for the violation or for any future violation. These restrictions shall be binding upon all and shall be enforceable by any of the present and future owners of the land in the subdivision.

2. TERM OF COVENANT AND RESTRICTIONS: The restrictions, rights, reservations, limitations agreements, covenants and conditions contained herein shall be deemed as covenants and not as conditions hereof, shall run with the land and shall bind all lot owners, their successors, heirs, executors, administrators and assigns, for twenty-five (25) years from the date of the execution of this Deed. Said covenants shall automatically be extended for successive periods of ten (10) years unless terminated by a vote of two-thirds (2/3) of the then owners of the lots in the subdivision. In ascertaining the number of owners of two-thirds (2/3) of the lots, persons having the power to convey the fee simple in a given lot shall constitute a unit having a single vote.

3. INCORPORATION INTO DEED: The above covenants, reservations, and restrictions shall be incorporated by reference in every deed hereafter issued conveying any lot of the subdivision.

4. PARAGRAPH HEADINGS - GENDER NUMBER: The section and paragraph headings are intended for convenience only and are not intended to be a part of these restrictions or in any way to define, limit, describe the scope or intent of the particular section and paragraph to which they refer. All pronouns and all variations thereof, shall be construed so as to refer to the masculine, feminine, neuter, singular or plural forms thereof, as the identity of the person or persons or as the situation may require.

5. EFFECT OF INVALIDATION: If any provision of these restrictions is held to be invalid by any court of competent jurisdiction, the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

6. RIGHT TO AMEND: So long as the Grantor owns property in NAME OF SUBDIVISION, but not longer than ten (10) years from the date of the recording of this Deed, the Grantor shall have the right to waive, terminate, and/or modify any of these restrictions as, in the sole opinion of the Grantor, are necessary in order to achieve and preserve an architecturally harmonious, artistic and desirable subdivision, so long as the modifications comply with local zoning codes and County development standard. Any amendment of or addition to these Restrictions under this section of the deed restrictions shall be effective as of the time of the recording of a written document evidencing such amendment or addition in the office of the Licking County Recorder.

So long as the Grantor owns property in NAME OF SUBDIVISION, but not longer than ten (10) years from the date of the recording of this Deed, the Grantor shall have the right to waive, terminate, and/or modify any of these restrictions which the Grantor believes to be in conflict with any federal, state and/or local regulation including without limitation any regulation of the Federal Housing Administration, Veterans Administration or the United States Department of Housing and Urban Development, in order to comply with such regulation.

ARTICLE V

ACCEPTANCE

By accepting a deed to any lot of the subdivision or part thereof, the Grantee accepts the same subject to the foregoing covenants and agrees for himself/herself/itself, their successors and assigns, to be bound by each of such covenants.

Signed on _____, 201_.

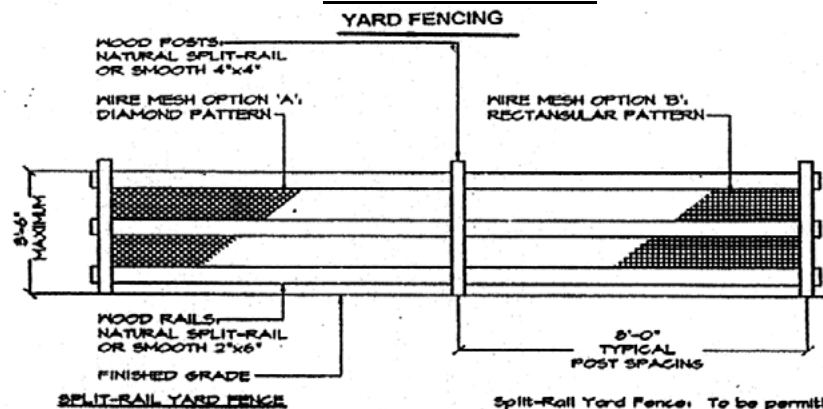
ROCKFORD HOMES, INC.,
an Ohio Corporation

By: _____
President

State of Ohio
County of _____, ss:

The foregoing Deed of Restrictions was acknowledged before me this _____ day of _____, 201_, by _____, President of Rockford Homes, Inc. an Ohio corporation.

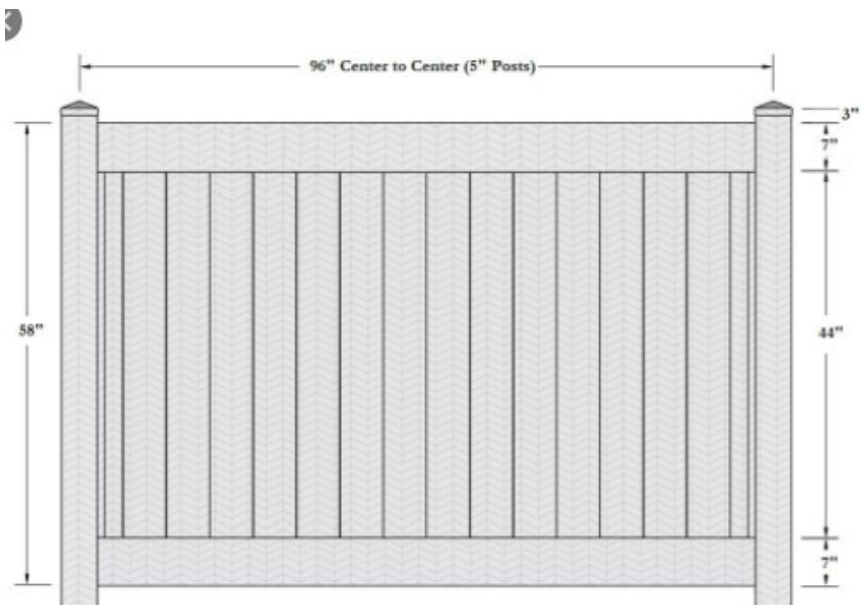
Notary Public

42-Inch-Tall Yard Fence**SPLIT-RAIL YARD FENCE**

Where permitted, these fences are to be placed around yard areas. The fence, post, and rail colors should be natural or earth tones. Wire is permitted to be applied on the interior side of the fence only, and shall be black in color, either by applied vinyl or painted. Light colors or aluminum finishes are not accepted for any portion of fences.

Split-Rail Yard Fence: To be permitted in rear yards only, not to extend closer to the front lot line than the rear line of the house on that lot. The fence post and rail colors should be natural or earth tones. Wire is permitted to be applied on the interior side of the fence only and shall be black in color, either by applied vinyl or painted. Light colors or aluminum finishes are not accepted for any portion of fences.

**5-Foot-Tall Wood or Resin Based
Yard Screen Fence and Pool Screen Fence**



**_____Homeowners Association, Inc.,
An Ohio not-for-profit corporation**

CODE OF REGULATIONS

Article I - Organization Name, Program Area and Executive Board

Section I - Organization Name

The name of the organization shall be _____ Homeowners Association, Inc. (the "Homeowners Association").

Section II - Program Area

The organization's program area to be served is _____ Subdivision, in the City of Pataskala, Licking County, Ohio, as developed by Rockford Homes, Inc., an Ohio corporation.

Section III - Executive Board

The organization will be represented by a smaller body to act as their official representatives. This body shall consist of the President, Secretary, and Treasurer. This body shall be referred to as the Executive Board.

Responsibilities of the Executive Board shall include:

- A. To develop agenda and action plans for the Board of Directors.
- B. To provide guidance between Board meetings to the organization's management, as needed.

Article II - Mission

The mission of the organization is as follows:

- A. To promote the welfare of the residents of _____ Subdivision, and to engage in activities, civil and social, which will result in the accomplishment of said purpose; to provide for the maintenance and repairs of common areas within _____ Subdivision and to divide and assess the cost of such maintenance and repairs, real estate taxes and insurance among homeowners within _____ Subdivision; and to do such other things as may be required by law or by the recorded plats and residential restrictions of _____ Subdivision, as recorded in the Licking County, Ohio Recorder's Office, and as may be amended; and
- B. To have and exercise all rights and powers which are conferred on nonprofit corporations or which may hereafter be conferred by the laws of the State of Ohio, including the power to contract, rent, buy, lease or sell personal or real property; provided, that this corporation shall not, except to an insubstantial degree, if at all, engage in any activities, or exercise any powers, that are not in furtherance of the primary purposes of this corporation.

Notwithstanding any other provisions of these Articles, the corporation shall not conduct or carry on any activities not to be conducted or carried on by an organization qualifying under Section 528 of the Internal Revenue Code and the Regulations promulgated thereunder as they now exist or as they may hereafter be amended.

Article III - Members

Members of the corporation shall consist of the owners of the individual lots in _____ Subdivision, as the same are numbered and delineated on the recorded plats thereof of record with the Licking County, Ohio Recorder's Office. For purposes of conducting the business of the corporation, each lot shall have one vote, provided that, no members shall have any voting rights in the corporation until ninety percent (90%) of said lots have been conveyed by Rockford Homes, Inc., to ultimate lot users and the initial board of directors has resigned. In the case of two-family dwellings, each side shall be deemed to be a separate lot.

Article IV - Services to Members

The organization will provide the following services to its members:

Own and maintain all open space/reserve areas as delineated on the recorded plats of _____ Subdivision of record in the Licking County, Ohio Recorder's Office.

Repair and maintain common areas within and the appurtenant improvements thereto _____ Subdivision, as delineated on the recorded plats of _____ Subdivision of record in the Licking County, Ohio Recorder's Office.

Comply with all requirements included in said recorded plats and restrictions, as recorded with the _____ County, Ohio Recorder's Office, for _____ Subdivision.

The organization shall (a) own in fee simple the parcels as designated and delineated on the recorded plats to be owned/dedicated to the organization, (b) maintain, including mowing and landscaping, the parcels and open spaces owned by the organization, (c) pay all real estate taxes, assessments and the like pertaining to the parcels, (d) install and maintain signs as described in the recorded plats and declarations or as deemed necessary in and around the parcels, (e) establish rules and regulations pertaining to the use of the parcels, (f) construct, repair, reconstruct and maintain entry monument signs and adjacent landscaping, fencing and sprinkler system within said parcels, (g) construct, repair, reconstruct and maintain such parcel or improvements thereto, (h) adopt, annually, an estimated budget for revenues and expenses, including reserves in an amount adequate to repair and replace any major capital items, all in the normal course of operations, (i) collect assessments for the common expenses, as budgeted, including reserves, (j) engage any third party deemed necessary and appropriate to conduct its business, including but not limited to, managers, managing agents, attorneys, and accountants, and (k) take such other action as deemed necessary by the organization in the best interest of the NAME OF SUBDIVISION, as required by the recorded plats and declarations, and as required by law, all as may be amended from time to time.

Coordinate, on matters of common concern, the collective representation of the homeowners of _____ Subdivision.

Article V - Meetings of the Organization

Section I - Bi-Monthly Meeting

The bi-monthly meeting of the organization shall be held in at such time and place as designated by the Board of Directors. A notice of such meeting shall be mailed to all members, at least one month in advance.

Section II - Special Meetings

Special meetings of the organization may be held at the request of the Board of Directors or at the request of fifty percent (50%) of the members. Notice of such meetings shall be mailed at least ten (10) days in advance.

Article VI - Board of Directors

Section I - Board of Directors

The Board of Directors shall be comprised of a minimum of three (3) individuals competent to direct its efficient operation, who are members of the organization. The members by a majority vote may increase the number of Directors to serve. After the initial Board of Directors is in place, upon the expiration of a Director's term or their resignation, a replacement will be voted into office by the members in attendance at the next Directors' meeting. Directors will be appointed for one-year terms and may serve an unlimited number of terms. To start a rotation of terms, a lottery or drawing can be conducted for the Board of Directors to serve for more than one year. Directors shall not receive compensation for their services as Directors.

Section II - Directors Meetings and Quorum

Meetings will be held bi-monthly. Two-thirds of the Board of Directors shall constitute a quorum.

Section III – Power and Authority of the Board of Directors

The Board of Directors shall

- A. Establish the rules, objectives and long-range plans for the organization.
- B. Establish policies to govern the organization.
- C. Evaluate the performance and progress of the organization in meeting its mission and objectives.
- D. Take the following actions on behalf of the organization:
 - i. Hire and/or fire managing agents, attorneys, accountants, and other independent professionals and employees that the board determines are necessary or desirable in the management of the common elements, as defined by O.R.C. Section 5312.01(C), as may be amended from time to time, and the organization.
 - ii. Commence, defend, intervene in, settle, or compromise any civil, criminal, or administrative action or proceeding that is in the name of, or threatened against, the organization, the board of directors, or the common elements, or that involves two or more members and relates to matters affecting the common elements.
 - iii. Enter into contracts and incur liabilities relating to the operation of the common elements.
 - iv. Enforce all provisions of the declaration, bylaws, covenants, conditions, restrictions, and articles of incorporation governing the lots, common elements, and limited common elements.
 - v. Adopt and enforce rules that regulate the maintenance, repair, replacement, modification, and appearance of common elements, and any other rules as the declaration provides.
 - vi. Acquire, encumber, and convey or otherwise transfer real and personal property.

- vii. Hold in the name of the organization real and personal property.
- viii. Grant easements, leases, licenses, and concessions through or over the common elements.
- ix. Levy and collect fees or other charges for the use, maintenance, or operation of the common elements or for services provided to members.
- x. Levy the charges and assessments, including (i) interest and charges for the late payment of assessments; (ii) returned check charges; (iii) enforcement assessments for violations of the declaration, the bylaws, and the rules of the organization; and (iv) charges for damage to the common elements or other property.
- xi. Adopt and amend rules to regulate the collection of delinquent assessments and the application of payments of delinquent assessments.
- xii. Impose reasonable charges for preparing, recording, or copying the declaration, bylaws, amendments to the declaration and bylaws, resale certificates, or statements of unpaid assessments.
- xiii. Authorize entry to any portion of the common elements to designated individuals when conditions exist that involve an imminent risk of damage or harm to the common elements, or to the health or safety of residents.
- xiv. Purchase and maintain (i) fidelity and indemnity insurance for the Board of Directors and the organization's management, (ii) property insurance, and (iii) liability insurance.
- xv. Exercise such powers that are (i) conferred by the declaration or bylaws; (ii) necessary to incorporate the organization as a nonprofit corporation; (iii) permitted to be exercised in this state by a nonprofit corporation; and/or (iv) necessary and proper for the governance and operation of the organization in conformance with Ohio law.

Section III - Officers and Tenure

The Board of Directors shall elect the following officers for one-year terms: President, Secretary, Treasurer, and such other officers as designated by the Directors.

Section IV - Duties of Officers

- A. President - to preside at all the Board of Directors meetings and to see that the authorized business of the association is carried to completion.
- B. Secretary - to keep the minutes of all meetings, carry on official correspondence,
- C. Treasurer - to collect all dues, pay authorized bills, present the bills for audit prior to the annual meeting each year and conduct such other business as shall be delegated to him/her; to maintain the financial records of the organization; to prepare financial reports and present them to the Board of Directors at least annually; to protect the organization's tax exempt status by insuring the organization's compliance with all government and granting authority requirements.

Section V - Election

Officers shall be elected and installed at the Directors' meeting following the December meeting of the organization.

Section VI – Removal of Directors or Officers

In the event of fraud, bad faith, gross negligence, or willful misconduct by any director or officer, a special meeting shall be called for the purpose to discuss and vote for the removal said individual. Said individual shall be given written notice, at least ten (10) days in advance, of the date, time, location and purpose of the meeting. By a vote of a majority of the members in attendance, the organization may remove the director or officer.

Section VII - Vacancy

The Board of Directors shall make appointments to fill vacancies created by the unexpired term(s) of either officers or directors.

Section VIII - Indemnification

The Board of Directors shall be indemnified by the organization against liabilities imposed upon them and expenses reasonably incurred by them in connection with any claim against them, or any action, suit or proceeding to which they may be a party by reason of their being a director. No director is indemnified (a) with respect to matters for which they shall be adjudged in such action, suit or proceeding to be liable for negligence or misconduct in performance of duty, (b) with respect to any matters which shall be settled by the payment of sums which independent counsel selected by the member(s) shall not deem reasonable payment made primarily with a view to avoiding expense of litigation, or (c) with respect to matters for which such indemnification would be against public policy.

Section IX - Duties of Management

If the organization retains a manager or a management agent, the duties shall be as determined by the Board of Directors and may include:

- A. To supervise and coordinate the business activities of the organization including human and financial resources.
- B. To manage the day-to-day operations of the organization.
- C. To provide reports for use by the Board of Directors and Executive Board on the performance and progress of the organization.

Section X - Committees

Committees shall be appointed by the Executive Board, as needed, to work on specific programs, events, etc., for a specified period of time.

Article VII - Order of Business

Section I - Parliamentary Law

All meetings will be governed by Roberts' Rules of Order.

Section II - Agenda

The order of business at all meetings shall be as follows:

- 1. Roll Call
- 2. Report of Minutes of preceding meeting
- 3. Reports of officers and management
- 4. Reports of standing committees
- 5. Report of special committees
- 6. Old Business
- 7. New Business
- 8. Miscellaneous

Article VIII - Financial Procedures

Section I - Fiscal Year

The fiscal year of the organization for accounting and tax purposes shall be January 1st to December 31st.

Section II - Authority to Receive Funds

The organization may accept, receive, and expend funds, grants and services from the federal government or its agencies, from departments, agencies and instrumentalities of state or local government, civic sources, private individuals, groups and foundations. It may contract with respect thereto and will provide such information and reports as may be necessary to secure such financial aid.

Section III - Deposits

All funds shall be deposited in a bank selected by the Board of Directors for disbursement.

Section IV - Approvals

All expenditures or disbursements by the organization must be in conformance with the approved annual budget or as approved by the Board of Directors.

Section V - Audit

The Executive Board shall provide for an annual audit at the end of each calendar year to confirm the authorized disbursement of and receipt of funds and shall provide for any other audits required by law.

Section VI - Official Filings

The Executive Board shall ensure that all requirements shall be met which are necessary to establish and maintain the status of the corporation as (i) a homeowners association as defined and required by Section 528 of the Internal Revenue Code and the Regulations promulgated, as they now exist or as they may be amended and (ii) an Ohio not for profit corporation as required by the Ohio Revised Code. Such requirements shall include, but are not limited to, those informational documents to be filed periodically with the State of Ohio and the Internal Revenue Service.

Article IX - Books and Records

There shall be kept at the office of the organization complete and correct books and records of accounts, with specific details of receipts and expenditures of the activities and transactions of the organization, and a detail record of assessments, charges, fees and other costs/expenses collected from each member. The minute book shall contain a copy of the articles of incorporation, these regulations, all minutes of the Board and organization meetings, and record of the names, addresses, lot numbers and tax parcel numbers of each member.

Article X - Amendment Procedures

These regulations may be amended annually through the following procedures:

A motion for amendment of the by-laws may be made or seconded at any regular meeting of the Board of Directors. If the motion is approved, the Secretary shall thereafter, but not less than ten (10) days prior to the next monthly or special meeting, forward to each member of the Board of Directors a copy of such proposed amendment together with a notice that it will be the subject of action at the next meeting. Such amendment, when presented and considered, shall be deemed adopted upon two-thirds (2/3) vote of the members at the next meeting. Voting by absentee balloting will be permitted. No amendment of the code of regulations shall be effective until properly filed with the Recorder's Office, Licking County, Ohio.

Article XI - Dissolution

Under the dissolution of the corporation, the Board of Directors thereof shall, after paying, or making provision for the payment of, all liabilities of the corporation, dispose of all the assets of the corporation exclusively for the primary purposes of the corporation in such manner, or to such organization or organizations organized as the Board of Directors shall determine. Any such assets not so disposed of shall be disposed of by the majority vote of the members present at a spec

City of Pataskala, Stormwater Facilities Maintenance Agreement
For
HAZELTON CROASSING

The owner/homeowner's association as well as its agents, representative, assigns, and any subsequent owners/homeowner's associations, agents, representative, or assigns ("the Owner") shall be solely responsible for the inspection and maintenance of the stormwater basins, associated outlet structures, and all other procedures listed in Table 1 for the subject development. Inspections and maintenance that are conducted shall be documented and filed for future reviews by the City of Pataskala. The duties and responsibilities set forth herein are continuing in nature and never expire or end.

Stormwater basins naturally collect sediment, including gravel, sand, and mud, as well as other debris like litter. To maintain their capacity and function, the basins must be kept free of excessive debris, litter, and sediment. The stormwater basins shown in these plans shall be inspected annually to ensure the system is free of sediment and debris. The outlet control structures shall be visually inspected at the intervals indicated as most of the sediment and debris will collect within these structures.

The design depth should be verified every 5 – 10 years to ensure that the basin will continue to function properly. This inspection shall be performed by using a boat, canoe, kayak, or similar means to position the inspector in the middle of the stormwater basin. Several measurements around the center of the stormwater basin shall be taken using a stadia rod to determine the depth of the permanent pool. Measurements taken when basin water level is a normal pool elevation (min. 72 hours after rain event). Once the depth of the stormwater basin reaches and/or exceeds the cleanout elevation level, the accumulated sediment shall be excavated to restore the permanent pool depth to the design depth. The stormwater basin is to be temporarily drained/pumped down so that the accumulated sediment can be removed. Sediment excavated from the stormwater basin is required to be tested to determine where to appropriately dispose of the material offsite. Sediment removed from the stormwater basin should be stored properly until disposal to ensure no exposure to stormwater runoff and properly disposed of per local guidelines.

The Owner shall maintain the stormwater control facility or facilities in good working condition acceptable to the City and in accordance with the schedule of long-term maintenance activities in the stormwater control facility maintenance plan.

The Owner shall keep a Maintenance Inspection Log with complete copies of the dated and signed inspection checklists as well as the dates and descriptions of all maintenance activities performed to remedy the deficiencies observed during prior inspection. All inspection reports and logs shall be submitted to the City of Pataskala Service Director when completed. The Maintenance Inspection Log shall be kept on the property and shall be made available to the City upon request.

The City of Pataskala shall have permission and authority to enter the promises at any time to inspect any of the facilities governed by this Stormwater Facilities Maintenance Agreement. If the City determines, at its sole discretion, the stormwater basin and/or associated outlet structures do not meet minimum requirements, are not functioning properly, and/or have fallen into a state of disrepair, the Owner shall make necessary improvements within 90 days of written notification from the City.

If at any time, there ceases to be a Homeowners Association, or other responsible entity, responsibility for compliance with this Stormwater Facilities Maintenance Agreement will become the individual property owners' responsibility. In subdivided developments, costs will be split evenly per recorded lot ownership of all owners within the platted section, phase, or part of the subdivision wherein the stormwater basin lies.

If the City determines, at its sole discretion, the requirements of the Stormwater Facilities Maintenance Agreement have not been complied with after written notification to the Owner, the City may enter the premises and perform any maintenance and/or corrective measures deemed necessary by the City. Costs and expenses of this maintenance and/or corrective measures will be billed to the Owner, who must pay the invoice within 60 days of receipt. Bills remaining unpaid for greater than 60 days may be assessed to the entity or entities having responsibility, or the City may collect the outstanding balance through any available legal remedy.

DEVELOPER ACCEPTANCE

Printed Name of Developer

Signature of Authorized Representative

Date

Printed Name and Title of Authorized Representative

ACCEPTANCE BY THE CITY

Signature of City Administrator

Date

Printed Name of City Administrator

Prohibited construction activities

The Contractor shall not use construction proceedings, activities or operations that unnecessarily impact the natural environment or the public health and safety. Prohibited construction proceedings, activities, or operations include by are not limited to:

1. Disposing excess or unsuitable excavated material in wetlands or floodplains, even with the permission of the property owner;
2. Indiscriminate, arbitrary, or capricious operation of equipment in any stream corridor, wetland, a surface waters or outside the easement limits;
3. Pumping sediment-laden water from trenches or other excavations into any surface water, stream corridor, wetland or storm drain;
4. Discharging pollutants such as chemical, fuel, lubricants, bituminous materials, raw sewage, and other harmful waste into or alongside of rivers, streams impoundments or into natural or man-made channels leading thereto.
5. Permanent or unspecified alterations of the constructed area;
6. Damaging vegetation outside of the construction area;
7. Disposing trees, brush and other debris in any stream corridor, wetland, surface water, or unspecified location;
8. Open burning of project debris without a permit;
9. Storing construction equipment and vehicles and/or stockpiling construction materials on public or private property, not previously specified and approved by the city engineer.

Table 1: Water Quality Basin & Maintenance and Inspection

WATER QUALITY BASIN & MAINTENANCE AND INSPECTION		
INSPECTION ITEM	MAINTENANCE PROCEDURES	FREQUENCY OF INSPECTION
INLET/OUTLET STRUCTURE & SIDE SLOPES	-REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM INLET AND OUTLET STRUCTURES.	MONTHLY
	-MOW SIDE SLOPES. (MIN. GRASS HEIGHT 3")	
	-DO NOT FERTILIZE VEGETATION SURROUNDING BASIN.	
BASIN EMBANKMENT	-REPAIR UNDERCUT/ERODED AREAS AND STABILIZE.	EVERY 6 MONTHS
STORM SEWER SYSTEM	-REMOVE DEBRIS FROM THE SEWER SYSTEM TO ENSURE POSITIVE FLOW TO THE BASIN.	EVERY 6 MONTHS
STORMWATER BASIN	-INSPECT FOR DAMAGE, PAYING PARTICULAR ATTENTION TO THE OUTLET CONTROL STRUCTURE.	ANNUALLY
	-CHECK FOR SIGNS OF EUTROPHIC CONDITIONS. (ALGAE BUILDUP)	
	-NOTE SIGNS OF HYDROCARBON BUILD-UP, REMOVE APPROPRIATELY	
	-MONITOR SEDIMENT ACCUMULATION IN THE FACILITY.	
	-EXAMINE TO ENSURE INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND ARE OPERATIONAL.	
	-INSPECT FOR INVASIVE VEGETATION IF WETLAND COMPONENTS INCLUDED.	
STORMWATER BASIN SEDIMENT ACCUMULATION	-MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BECOME REDUCED SIGNIFICANTLY (25% OF PERMANENT POOL VOLUME LOST), OR THE POND BECOMES EUTROPHIC.	ANNUALLY

TAB 7
SUPPORTING
DOCUMENTS



Memorandum

RE: Hazelton Crossing (Formerly Osborn Site) | Phase I Environmental Site Assessment Summary

February 5, 2016

Jobs Henderson & Associates, Inc. (JHA) has reviewed a Phase I Environmental Site Assessment (ESA) Report that was completed on February 2, 2006 by BBC&M Engineering for the Osborn Site in Pataskala, Licking County, Ohio. The approximately 95 acre site is located on the northeast quadrant of the intersection of State Route 310 and Refugee Road. The property currently exists as an agricultural field planted in row crops and contains a homestead on a parcel separate from this site. Below is the Executive Summary from the Phase I ESA Report explaining that there was one identified "recognized environmental condition" (REC) connected to the site. This one REC is a leaking underground storage tank on an adjacent property to the west and based on the report however, the listing has been issued a No Further Action (NFA) status and potential impacts to the site are low.

Executive Summary from the referenced Phase I ESA:

"BBC&M Engineering (BBCM) has conducted the Phase I Environmental Site Assessment (ESA) for the Osborn Site located in the northeastern quadrant of the intersection of State Route 310 (Hazelton Etna Road) and Refugee Road in Pataskala, Licking County, Ohio (the "Property"). The Property is a vacant agricultural field approximately 92.55 acres in size. The approximate location of the Property is indicated on the Vicinity Map and United States Geologic Survey (USGS) map (Appendix A). According to aerial photographs, historical maps, and an interview with the Property owner, the Property was historically used for agricultural purposes.

The Phase I ESA was completed in general accordance with the scope and limitations set forth in the American Society for Testing and Material (ASTM) Designation E 1527-00: "Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process". The Phase I ESA investigation has revealed the following potential "recognized environmental conditions" in connection with the Site:

- One Leaking Underground Storage Tank (LUST) listing is adjacent to the west of the Property. The listing has been issued a No Further Action (NFA) status. Based on the NFA status of the listing, it is believed that potential for the listing to impact the Property is low.

Additional information about the above-referenced conditions included in the text of this report. Depending on the level of comfort desired, the incident field at the Bureau of Underground Storage Tanks could be reviewed and/or a Limited Phase II ESA could be performed to further investigate the LUST listing."

The full-text Phase I ESA Report for this site shall be submitted with the rezoning text for reference. Please contact JHA if you have any questions about interpreting this report or about the site by emailing jhaynal@hullinc.com or calling (740) 344-5451.

Respectfully,

Jobs Henderson & Associates, Inc.

Jaclyn Haynal
Environmental Scientist

F:\Clients\Active\SGT\SGT004\Env\2016-02-04_MEMO_Phase I ESA Summary.docx

Exhibit 'P-1'

REFER TO COPY OF
PHASE 1 ENVIRONMENTAL SITE
ASSESSMENT ON FILE WITH
CITY

Exhibit 'P-2'

REFER TO COPY OF
PRELIMINARY STORMWATER
REPORT ON FILE WITH CITY

Exhibit 'R'

TAB 8
SERVICEABILITY
LETTERS



DR. KASEY PERKINS
SUPERINTENDENT
SOUTHWEST LICKING LOCAL SCHOOL DISTRICT

January 7, 2020

Dear Mr. Corey Theuerkauf,

I am confirming that I have received the proposed EX-D2 Phasing Plans. I would be remised in not sharing my concerns regarding the amount of housing going into this project. The price range of these homes will target young and growing families, ultimately increasing the population in our school district. The District is already going to be near capacity as our building project is completed in the fall of 2023. Housing complexes such as this Rockford Homes development will continue to increase our student population at an alarming rate that our current buildings are not equipped to handle. I am concerned regarding community support for school bonds for new buildings, when they are already frustrated by the excessive growth in our school community.

Thank you for reaching out and sharing the upcoming development,

A handwritten signature in black ink that reads "Kasey Perkins".

Dr. Kasey Perkins
Superintendent
kperkins@laca.org

Exhibit 'S'

From: Scott Fulton <sfulton@ci.pataskala.oh.us>
Sent: Wednesday, January 6, 2021 12:41 PM
To: Robert O'Neill <Robert@southgatecorporation.com>
Cc: Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>; Gary Smith (gsmith@g2planning.com)
<gsmith@g2planning.com>
Subject: RE: **Request for Letter of Communication**

Rob,

This email satisfies the requirement. You're all set.

Happy New Year,

SCOTT FULTON

Director of Planning
City of Pataskala
621 West Broad Street, Suite 2-A
Pataskala, Ohio 43062
Phone: 740-927-2168
Cell: 614-440-5222

From: Robert O'Neill <Robert@southgatecorporation.com>
Sent: Tuesday, January 5, 2021 5:21 PM
To: Scott Fulton <sfulton@ci.pataskala.oh.us>
Cc: Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>; Gary Smith (gsmith@g2planning.com)
<gsmith@g2planning.com>
Subject: FW: **Request for Letter of Communication**

Hello Scott,

I hope you are doing well and your holiday was a good one. Happy New Year!

As part of our updated information, we are working to complete the items requested by the City related to our Rockford submittal and I want to be sure the email exchange with Richard Jones satisfies Pataskala's notification requirement.

Please confirm for me the acknowledgement by Richard Jones from the SWL School District completes the school district notification requirement.

Thanks, Rob

Robert E. O'Neill
Southgate Corporation
740-522-2151 office
740-258-2074 mobile

Exhibit 'S'

From: Jones, Richard D. (Southwest Licking Local Schools) [<mailto:rdjones@laca.org>]
Sent: Monday, January 4, 2021 3:41 PM
To: Robert O'Neill <Robert@southgatecorporation.com>
Cc: Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>; sfulton@ci.pataskala.oh.us
Subject: RE: **Request for Letter of Communication**

Rob,

Good afternoon! Thank you for sharing the information.

Richard D. Jones
Treasurer
Southwest Licking LSD
Phone: (740) 927-3941
Fax: (740) 927-4648

From: Robert O'Neill <Robert@southgatecorporation.com>
Sent: Tuesday, December 29, 2020 3:49 PM
To: Jones, Richard D. (Southwest Licking Local Schools) <rdjones@laca.org>
Cc: Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>; sfulton@ci.pataskala.oh.us
Subject: FW: **Request for Letter of Communication**

Hello Richard,

I am following on my previous emails regarding the Southgate land development project in Pataskala with Rockford Homes. Corey Theuerkauf from Rockford sent this summary to Dr. Perkins today and I wanted you to have the same information. Please let me know if you have any questions.

Thanks, Rob

Robert E. O'Neill
Southgate Corporation
740-522-2151 office
740-258-2074 mobile

Exhibit 'S'

From: Corey Theuerkauf [<mailto:CTheuerkauf@rockfordhomes.net>]
Sent: Tuesday, December 29, 2020 1:45 PM
To: kperkins@laca.org
Cc: bbalawajder@laca.org; Phil Moorehead <pmoorehead@g2planning.com>; Robert O'Neill <Robert@southgatecorporation.com>
Subject: **Request for Letter of Communication**

Dear Dr. Perkins,

As part of the public review and approval process for residential developments in Pataskala, their code requires any proposed residential community obtain a letter of communication from the school district. I called the district offices today and I was instructed to email my request to you, if you're not the appropriate person please let me know so I can reach that person as soon as possible. Attached to the email is a screen shot of the Pataskala code section, a site map and our proposed phasing plan of the overall master planned community. The community is broken up into four (4) subareas (A-D): subarea A is planned for commercial use; subarea B is planned for condominium living; subarea C is planned for retirement living and subarea D is planned for single-family housing.

Subareas A-C development time frame is not yet known. However, subarea D is planned to start development potentially in 2021, pending approval from the City of Pataskala. Within subarea D, I anticipate developing the community in four (4) phases as the market demand allows. The anticipated absorption rate of the community based on current trends is estimated at 2.5 lots per month. The total number of lots in subarea D is one-hundred and fifty-three (153) lots. The anticipated lot absorption and timeframe for site development of the community projects 100% completion in 5-7 years. The anticipated price range of the single-family homes will be \$280,000 - \$350,000.

If you have any further questions do not hesitate to contact me by phone or email, my contact information is listed below. If there are no further questions please direct the letter to my attention and if you could email it to me that would help with our timing of submission to the city, the US Postal Office is backed up this time of year.

Sincerely,

Corey Theuerkauf
Vice President of Land



999 Polaris Parkway Suite 200, Columbus, OH 43240
O: 614-785-0015
CTheuerkauf@rockfordhomes.net |
www.rockfordhomes.net



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Exhibit 'S'

Phil Moorehead

From: Chris Gilcher <cgilcher@swlcws.com>
Sent: Monday, January 11, 2021 8:14 AM
To: Shreves, Kyle
Cc: Corey Theuerkauf (CTheuerkauf@rockfordhomes.net); Gary Smith; Bruno, John; Scott Fulton; 'Jack Kuntzman'; 'Alan Haines'
Subject: RE: Hazelton - 310/Refugee

Kyle,

Water and sanitary flow rates will be determined during the final engineering construction plan review portion of the project. Sanitary sewer and water flow rates shall be calculated utilizing the reference materials in SWLCWS District Rules and Regulations Section 502. Sanitary sewer flows shall not exceed the design capacity of the existing "Stoney Ridge" Lift Station nor shall the project be constructed prior to upgrade of the existing "Smoke & Refugee Road Lift Station".

If you have any questions, please feel free to contact me at any time.

Thanks,

CJ Gilcher
Utilities Superintendent
8718 Gale Road
Hebron, Ohio 43025
Ph: 740-928-2178 Cell: 614-348-6627



From: Chris Gilcher
Sent: Thursday, December 17, 2020 3:40 PM
To: Shreves, Kyle <kshreves@emht.com>
Cc: Corey Theuerkauf (CTheuerkauf@rockfordhomes.net) <CTheuerkauf@rockfordhomes.net>; Gary Smith <gsmith@g2planning.com>; Bruno, John <jbruno@emht.com>; Scott Fulton <sfulton@ci.pataskala.oh.us>; 'Jack Kuntzman' <jkuntzman@ci.pataskala.oh.us>; 'Alan Haines' <ahaines@ci.pataskala.oh.us>
Subject: RE: Hazelton - 310/Refugee

Kyle,

Please see the attached preliminary plan review comments for the Hazelton Crossing Project.

If you have any questions, please feel free to contact me at any time.

Thanks,

CJ Gilcher
Utilities Superintendent
8718 Gale Road
Hebron, Ohio 43025
Ph: 740-928-2178 Cell: 614-348-6627



From: Shreves, Kyle <kshreves@emht.com>
Sent: Tuesday, December 8, 2020 9:13 AM
To: Chris Gilcher <cgilcher@swlcws.com>
Cc: Corey Theuerkauf (<CTheuerkauf@rockfordhomes.net> <CTheuerkauf@rockfordhomes.net>; Gary Smith <gsmith@g2planning.com>; Bruno, John <jbruno@emht.com>; Scott Fulton <sfulton@ci.pataskala.oh.us>; 'Jack Kuntzman' <jkuntzman@ci.pataskala.oh.us>; 'Alan Haines' <ahaines@ci.pataskala.oh.us>
Subject: RE: Hazelton - 310/Refugee

Chris,
Per our previous discussions, please find attached the updated preliminary utility plan per your request. I have shown the public and private water systems in different colors for reference. Please review and provide any feedback or send over any concerns or questions to me and if needed we could jump on a call to discuss.

Thank you for your review and time as this having your review and acceptance of the utility layout will be utilized in the preliminary development resubmittal to the City.

Kyle J Shreves, PE
Sr. Project Manager / Associate



EMH&T Engineers, Surveyors, Planners, Scientists
5500 New Albany Road, Columbus, OH 43054
v. 614.775.4443 | c. 614.989.8754 | KShreves@emht.com
emht.com

From: Shreves, Kyle <kshreves@emht.com>
Sent: Thursday, November 12, 2020 8:34 AM
To: Chris Gilcher <cgilcher@swlcws.com>
Cc: Corey Theuerkauf (<CTheuerkauf@rockfordhomes.net> <CTheuerkauf@rockfordhomes.net>; Gary Smith <gsmith@g2planning.com>; Bruno, John <jbruno@emht.com>; Scott Fulton <sfulton@ci.pataskala.oh.us>; 'Jack Kuntzman' <jkuntzman@ci.pataskala.oh.us>; 'Alan Haines' <ahaines@ci.pataskala.oh.us>
Subject: RE: Hazelton - 310/Refugee

Chris,
Thank you for the discussion. I will update the few things we discussed on the call and get an updated utility plan for review/comment. In regards to the future uses and water lines (public/private) for the areas to the west of the single family portion, I will review with the developer's on what the intent would be and update the plan as well.

Per our call, the water calculations are not typically required by your offices and the sanitary calculations would come with the final engineering of the site. I can see what we can pull together from a sanitary perspective using our analysis of the pump station to the north as a jumping off point so you have something in the file.

Thanks

Kyle J Shreves, PE

Sr. Project Manager / Associate



EMH&T Engineers, Surveyors, Planners, Scientists

5500 New Albany Road, Columbus, OH 43054

v. 614.775.4443 | c. 614.989.8754 | KShreves@emht.com

emht.com

From: Chris Gilcher

Sent: Thursday, November 12, 2020 8:03 AM

To: Shreves, Kyle

Cc: Corey Theuerkauf (CTheuerkauf@rockfordhomes.net) ; Gary Smith ; Bruno, John ; Scott Fulton ; 'Jack Kuntzman' ; 'Alan Haines'

Subject: RE: Hazelton - 310/Refugee

Kyle,

Can you please send me a preliminary plan set for review. The District has not received anything on this project.

Thanks,

CJ Gilcher

Utilities Superintendent

8718 Gale Road

Hebron, Ohio 43025

Ph: 740-928-2178 Cell: 614-348-6627



From: Shreves, Kyle <kshreves@emht.com>

Sent: Monday, November 9, 2020 8:08 AM

To: Chris Gilcher <cgilcher@swlcws.com>

Cc: Corey Theuerkauf (CTheuerkauf@rockfordhomes.net) <CTheuerkauf@rockfordhomes.net>; Gary Smith <gsmith@g2planning.com>; Bruno, John <jbruno@emht.com>

Subject: Hazelton - 310/Refugee

Chris,

We received two comments from the Pataskala review of the preliminary development plan on the above project. We have talked about this site previously regarding the pump stations, but based on Pataskala's comments we need a letter

from your offices that indicate that SWL can service the site for sanitary and water and are in general agreement of the utility layouts. My assumption is that the second (blue) comment is set up more for a Pataskala serviced site, but could be addressed in your letter that the 155 single family can be serviced by SWL.

Is this something you can take a look at for us and pull together? Feel free to call to discuss. Thanks

- *1255(a)(3)(F)(8) The provision of water, sanitary sewer;*
 - *Undetermined. While water and sanitary sewer on shown on Exhibit I, the SWLCWSD has not reviewed the layout.* Southgate / EMHT
- *1113.07(f) Calculations that develop the water and sanitary sewer demand rates for the subdivision.*
 - *Incomplete, not provided*

Kyle J Shreves, PE

Sr. Project Manager / Associate



EMH&T Engineers, Surveyors, Planners, Scientists

5500 New Albany Road, Columbus, OH 43054

v. 614.775.4443 | c. 614.989.8754 | KShreves@emht.com

emht.com

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From: [Gary Smith](#)
To: [Phil Moorehead](#)
Subject: FW: Southgate/Hazelton Crossing Review
Date: Tuesday, April 27, 2021 8:29:14 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)

Kind Regards,

GARY SMITH, RLA | CLARB
PARTNER
GSMITH@G2PLANNING.COM (O) 614.583.9230 (C) 614-390-6149
720 East Broad Street, Suite 200 Columbus, Ohio 43215

-----Original Message-----

From: Shreves, Kyle <kshreves@emht.com>
Sent: Monday, April 26, 2021 4:08 PM
To: Gary Smith <gsmith@g2planning.com>; Corey Theuerkauf (CTheuerkauf@rockfordhomes.net) <ctheuerkauf@rockfordhomes.net>; Robert O'Neill <Robert@southgatecorporation.com>
Subject: Fwd: Southgate/Hazelton Crossing Review

Gary, I am not in the office but wanted to get this you you. The stormwater comment is good to go.

Get Outlook for Android<<https://aka.ms/AAb9ysg>>
From: Miller, Ben <bmill@structurepoint.com>
Sent: Monday, April 26, 2021 3:52:45 PM
To: Chouteau, Jessica <jchouteau@emht.com>
Cc: Shreves, Kyle <kshreves@emht.com>; Levine, Megan <mlevine@emht.com>; Goodwin, Shawn <SGoodwin@structurepoint.com>
Subject: RE: Southgate/Hazelton Crossing Review

Jessica~

From our conversation this afternoon as well as your explanation below, the method you describe is acceptable. Please disregard the comment on the review letter and proceed under the direction that the Stormwater Report, dated 1/8/2021, for Hazelton Crossing is approved as submitted.

Let me know if you have any further questions.

Exhibit 'U'

Thanks,

BENJAMIN J. MILLER, P.E.

Team Leader – Civil – OH

2550 Corporate Exchange Drive – Suite 300

Columbus, OH 43231

614.901.2235 office

614.598.1919 CELL

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[social media6]

Best Places to Work in Indiana

Best Employers in Ohio

From: Chouteau, Jessica <jchouteau@emht.com>
Sent: Monday, April 26, 2021 3:46 PM
To: Miller, Ben <bmillier@structurepoint.com>
Cc: Shreves, Kyle <kshreves@emht.com>; Levine, Megan <mlevine@emht.com>
Subject: FW: Southgate/Hazelton Crossing Review

Exhibit 'U'

EXTERNAL EMAIL: Do not click any links or open any attachments unless you trust the sender and know the content is safe!

Benjamin

Thank you for discussing the Hazelton Crossing Project review with me. We wanted to clarify the PUD application review comment from February 26, 2021 in your attached review letter for Hazelton Crossing. The allowable post developed peak discharge rates were calculated by applying the critical storm to the pre developed on-site discharge for each storm and adding the offsite pre flows that will pass thru the basin during phase 1 only. The full build calculation does not have offsite area and all post areas will be detained to critical storm. This is the typical critical storm method calculation and will be carried through to the final stormwater management plan.

As discussed, we will disregard the stormwater report comment. Please confirm approval of the January 8, 2021 stormwater report for the Hazelton Crossing PUD application.

Thanks

Jessica Chouteau, PE
Water Resources Engineer

[EMH&T-email-logo]

EMH&T Engineers, Surveyors, Planners, Scientists
5500 New Albany Road, Columbus, OH 43054 v. 614.775.4373 |
jchouteau@emht.com<<mailto:jchouteau@emht.com>>

emht.com<<http://www.emht.com/>>

From: Robert O'Neill <Robert@southgatecorporation.com<<mailto:Robert@southgatecorporation.com>>>
Sent: Wednesday, April 14, 2021 10:58 AM
To: Bob Yoakam <BYoakam@rockfordhomes.net<<mailto:BYoakam@rockfordhomes.net>>>; Corey Theuerkauf
<CTheuerkauf@rockfordhomes.net<<mailto:CTheuerkauf@rockfordhomes.net>>>; Shreves, Kyle
<kshreves@emht.com<<mailto:kshreves@emht.com>>>
Cc: Gary Smith (gsmith@g2planning.com<<mailto:gsmith@g2planning.com>>
<gsmith@g2planning.com<<mailto:gsmith@g2planning.com>>>; Miller, Joseph R.
<JRMiller@vorys.com<<mailto:JRMiller@vorys.com>>>; Frank Rosato
<Frank@southgatecorporation.com<<mailto:Frank@southgatecorporation.com>>>
Subject: FW: Southgate/Hazelton Crossing Review

Exhibit 'U'

Good Morning,

We have a response from Pataskala and please see the attached comments. I'll also forward email we received yesterday with the SWL Fire Dept comments.

If possible, I would like to set up a call for Friday to review these comments. Please let me know your availability for a Friday call.

Thanks, Robert

Robert E. O'Neill

Southgate Corporation

740-522-2151 office

740-258-2074 mobile

From: Scott Fulton [<mailto:sfulton@ci.pataskala.oh.us>]

Sent: Monday, April 12, 2021 12:44 PM

To: Gary Smith (gsmith@g2planning.com<<mailto:gsmith@g2planning.com>>)

Cc: Robert O'Neill ; Tim Hickin

Subject: Southgate/Hazelton Crossing Review

Gary,

Please see the review comments attached. We are still waiting on comments from the Fire District, but I will forward them to you once received.

If you have any questions, please let me know.

Thanks,

Scott Fulton

Director of Planning

City of Pataskala

621 West Broad Street, Suite 2-A

Exhibit 'U'

Pataskala, Ohio 43062

Phone: 740-927-2168

Cell: 614-440-5222

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Exhibit 'U'

Phil Moorehead

From: Gary Smith
Sent: Tuesday, April 27, 2021 8:31 PM
To: Phil Moorehead
Subject: FW: Hazelton Storm Sewer
Attachments: 20190848-PREP-01.pdf

Kind Regards,



GARY SMITH, RLA | CLARB
PARTNER

GSMITH@G2PLANNING.COM (O) 614.583.9230 (C) 614-390-6149
720 East Broad Street, Suite 200 Columbus, Ohio 43215

From: Shreves, Kyle <kshreves@emht.com>
Sent: Thursday, April 22, 2021 6:57 AM
To: Alan Haines (ahaines@ci.pataskala.oh.us) <ahaines@ci.pataskala.oh.us>
Cc: Corey Theuerkauf (CTheuerkauf@rockfordhomes.net) <CTheuerkauf@rockfordhomes.net>; Gary Smith <gsmith@g2planning.com>; Robert O'Neill <Robert@southgatecorporation.com>; Schehl, Steve <SSchehl@emht.com>
Subject: Hazelton Storm Sewer

Alan,

Thank you for taking our call yesterday. Per our conversation and understanding, final designs of the storm systems will work to have rear yard mainline sewers offset 5' or more from the rear property line and catch basins every other lot to mitigate the request for eliminating storm sewer in the rear yard. As discussed this will assist in future maintenance.

Per our conversation, the Hazelton project in particular, the storm layout as shown on the attached is acceptable by you and we will respond as such to the comments received from the January submittal.

Also to document our conversation for your records as well, the goal of the grading and storm sewer system is to protect the home, which requires grading away from the home. The front half of the home goes to the front, back half goes to the rear to the storm system. The rear yard area is the major flood route area, again protecting the home from flooding. The mainline in this location is the most successful and allows for the most flexibility in getting drainage away from the homes and flood routing out to the streets and into the basins.

As discussed, there were several reasons given in the call in favor of limiting the front yard storm systems and side yard systems. Please see list below of items discussed:

- ... Front yard storm systems along the frontage create conflicts with the landscaping, drives, walks, utilities (private/public), signage, etc. when dealing with maintenance of the storm system.
- ... Eliminating the rear yard system also has the potential to double up storm systems on adjacent roadways in a traditional grid pattern development. Curb inlets along the roadway typically are picked up via a rear yard

backbone through side yards. With rear yard storm eliminated the front yard storm will need to be ran along both streets in the grid pattern.

- ... Water and Sanitary services and private entity utility services have the potential to have their facilities located adjacent/under the storm and storm backfill. The ability to maintenance the facilities would both be hindered and have the chance for damaging the City's public storm system. Typically, a home owner will call a private Contractor to assist in fixing any issues with services, thus having the potential for the City to not have any notice or inspection on the work being completed.
- ... The side yard storm would require repairs to be completed in a confined area in very close proximity to private homes. Any work would need to be completed in a minimum space of 20' as that is the typical storm sewer easement width.
- ... Every run installed between homes now has the potential to become hydraulically connected to the basements. This happened in another municipality and the municipality had to come back and correct all the side yard storm systems and install sump pumps in adjacent homes at their cost.

Thank you for the call and time.

Kyle J Shreves, PE

Sr. Project Manager / Associate



EMH&T Engineers, Surveyors, Planners, Scientists

5500 New Albany Road, Columbus, OH 43054

v. 614.775.4443 | c. 614.989.8754 | KShreves@emht.com

emht.com

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Gary Smith

From: Brian M. Zets <bzets@isaacwiles.com>
Sent: Tuesday, April 21, 2020 8:15 AM
To: Miller, Joseph R.
Cc: Ingram, Christopher L.
Subject: [EXTERNAL] RE: Southgate v. Pataskala: Traffic Study Protocol

CAUTION: External Email.

Joe –

In order to settle this matter, the City needs Southgate to conduct a new traffic impact study for the entire 95-acre development. Southgate must comply fully with all recommendations of the traffic impact study. As previously noted by the City (in September 2019), the follow items also need addressed in addition to, and in connection with, the traffic impact study:

1. The western most access on Refugee Road into the subdivision must be the main entrance to the subdivision
2. The eastern most access to Refugee Road must be removed and an emergency access must be added and installed in its place (or align with Street B to Refugee Road)
3. A roadway connection must be added and installed in the 0.18 acre open space off Street D
4. The SR 310 access to Sub-Area B must be a right in/right out configuration
5. An access road must be added and installed behind Outparcel 1 in order to provide full access to Sub-Area B
6. The access road between Outparcels 5 and 6 (in Sub-Area A) must be a right in/right out configuration

If the above-listed revisions are made to the plan, the Public Service Director will not oppose any divergences related to the radii at the north end of streets B and D even though they do not meet code and require a divergence.

Southgate also must straighten the bowed streets to the east and west of the Gathering Area. Otherwise, the bowed streets will be confusing for motorists and create sight distance issues.

Looking at all of this together, the settlement agreement needs to address two items: (1) Southgate's Preliminary Development Plan (the actual drawing) needs revised/updated and (2) we need to incorporate the above-listed items and details from the EMH&T MOU into a settlement agreement. Thoughts on to accomplish this easily? Maybe it is as easy as cutting and pasting some of the MOU into a settlement agreement. Do you want me to put together a draft?

As you know, any settlement must be formally authorized and approved by council. And, this cannot happen until council meets and deliberates in open session. That said, if Southgate agrees to modify its Preliminary Development Plan as discussed herein, perform a new traffic impact study based upon the revised PDP, and fully comply with all recommendations of the traffic study, the Public Service Director and the Director of Planning will recommend this settlement to council so that council can approve, via a settlement agreement, Southgate's Hazleton Crossing Preliminary Development Plan and Text.

Finally, if we want to seriously look at this option, we need to continue the May 4 PI Hearing. While we will move as quickly as possible to put together the draft settlement agreement, we should focus on settlement over the next two weeks.



Brian M. Zets

Attorney at Law

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From: Miller, Joseph R. <JRMiller@vorys.com>
Sent: Monday, April 20, 2020 9:44 AM
To: Brian M. Zets <bzets@isaacwiles.com>
Cc: Ingram, Christopher L. <clingram@vorys.com>
Subject: Southgate v. Pataskala: Traffic Study Protocol

Brian,

I have not heard back from you in response to my prior correspondence concerning an appropriate protocol for a traffic study in order to see if this matter can be resolved. However, I did want to let you know, in consultation with EMH&T, there appears to be a clear answer to this. EMH&T developed the attached MOU based specifically upon its communications with Alan Haines at the City last fall, including a detailed conversation on November 6th. EMH&T would also intend to address the 7 comments regarding access raised by Scott Fulton and Mr. Haines set forth in the attached email from last September.

I hope this is helpful and that all is well with you and your family.

Thanks,

Joe

From the law offices of Vorys, Sater, Seymour and Pease LLP.

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From: [Chris Gilcher](#)
To: [Shreves, Kyle](#)
Cc: [Robert O'Neill](#); [Corey Theuerkauf](#); [Gary Smith](#)
Subject: RE: Hazelton Crossing Review
Date: Monday, April 19, 2021 11:35:12 AM
Attachments: [image001.png](#)
[image002.png](#)
[SKM_C250i21041911260.pdf](#)

Kyle,

See below in RED.

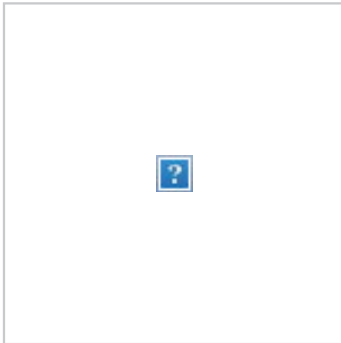
CJ Gilcher

Utilities Superintendent

8718 Gale Road

Hebron, Ohio 43025

Ph: 740-928-2178 Cell: 614-348-6627



From: Shreves, Kyle

Sent: Friday, April 16, 2021 11:08 AM

To: Chris Gilcher

Cc: Robert O'Neill ; Corey Theuerkauf ; Gary Smith (gsmith@g2planning.com)

Subject: Hazelton Crossing Review

Chris,

I have two questions regarding the attached comment letter.

- Which sewer line are you concerned about on the proximity to the basins? Please note, these are preliminary/schematic in nature and final engineering will better place the improvements. Maybe you are alluding to that in the comment letter, but we would like a clear definitive response that, as shown, the lines are acceptable and further placement would be needed with final engineering. See attached. Per the letter, the District approved the preliminary plan as noted.
- Also, with regards to the flow capacity of the 12" along Refugee, can you confirm the District would be able to aid in overall tributary area or current flows in the pipe when we get to that stage in engineering? Trying to understand the scope of work that we may be heading towards. The District can provide assistance on existing flow estimates.

Thanks

Kyle J Shreves, PE

Sr. Project Manager / Associate



Exhibit 'X'